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AGENDA

Pwyllgor PWYLLGOR CYNLLUNIO

Dyddiad ac amser y cyfarfod DYDD MERCHER, 21 MEHEFIN 2017, 2.30 PM

Lleoliad YSTAFELL BWYLLGORA 4 - NEUADD Y SIR

Aelodaeth Cyngorydd Keith Jones (Cadeirydd)
Cyngorwyr Gordon, Ahmed, Asghar Ali, Congreve, Driscoll, Hudson, Jacobsen, Jones-Pritchard, Lay, McGarry a/ac Murphy

1 Ymddiheuriadau am absenoldeb

2 Penodi Cadeirydd a Dirprwy Gadeirydd

Nodi bod y Cyngorydd Keith Jones wedi'i benodi'n Gadeirydd a bod y Cyngorydd Iona Gordon wedi'i phenodi'n Ddirprwy Gadeirydd y Pwyllgor hwn, yng Nghyfarfod Blynyddol y Cyngor ar 25 Mai 2017.

3 Penodi'r Pwyllgor a'r Cylch Gorchwyl

Yng Nghyfarfod Blynyddol y Cyngor ar 25 Mai 2017, penodwyd yr aelodaeth a'r Cylch Gorchwyl canlynol i'r Pwyllgor hwn:

Aelodaeth:

Y Cyngorwyr Ahmed, Asghar Ali, Congreve, Driscoll, Gordon, Hudson, Jacobsen, Keith Jones, Jones-Pritchard, Lay a Murphy (1 swydd wag)

Cylch Gorchwyl:

Y swyddogaethau hynny a restrir yn Adran A, Atodlen 1 Rheoliadau Trefniadau Gweithredol yr Awdurdodau Lleol (Swyddogaethau a Chyfrifoldebau) (Cymru) 2001 ac unrhyw ddiwygiadau o ran hynny ac unrhyw faterion ategol hefyd fel a ddiffinnir yn Rheoliad 4(2) at (6) y Rheoliadau.

Y swyddogaethau hynny a restrir ym mharagraffau 1 - 12, Atodlen 1 Rheoliadau Trefniadau Gweithredol yr Awdurdodau Lleol (Swyddogaethau a Chyfrifoldebau) (Cymru) 2001 ac unrhyw ddiwygiadau o ran hynny ac unrhyw faterion ategol hefyd fel a ddiffinnir yn Rheoliad 4(2) at (6) y Rheoliadau.

4 Cofnodion

Cymeradwyo bod cofnodion y cyfarfod a gynhaliwyd ar 12 Ebrill 2017 yn gywir.

5 Datgan Buddiannau

I'w gwneud ar ddechrau'r eitem agenda dan sylw, yn unol â Chod Ymddygiad yr Aelodau.

6 DEISEBAU

Derbyniwyd deisebau yn ymwneud â'r ceisiadau canlynol yn unol â Rheol Gweithdrefn 14.2 Cyfarfod y Pwyllgor. Rhoddwyd gwybod i'r deisebwyr am eu hawl i siarad a'r ymgeiswyr/asiantwyr am eu hawl i ateb:

Cais rhif 16/02752/MJR, Lozelles, Church Road, Llysfaen
Cais rhif 17/00171/MJR, Banc Cenedlaethol Westminster, 238 Pantbach Road, Rhiwbeina.

7 Ceisiadau Rheoli Datblygiad

Mae'r rhestr o geisiadau rheoli datblygu wedi'i dosbarthu ar wahân.

7a Lozelles, Church Road, Llysfaen

7b Y tir i'r de o Ganolfan Hamadryad, Hamadryad Road, Butetown

7c 162 - 168 Penarth Road, Grangetown

7d 40 Lady Mary Road, Penylan

7e 40 Lady Mary Road, Penylan. Caniatâd Ardal Gadwraeth

7f Eglwys St Paul, Llanmaes Street, Grangetown

7g Eglwys St Paul, Llanmaes Street, Grangetown. Caniatâd Adeilad Rhestredig

7h Tir yn Dumballs Road, Butetown

7i The Citadel, Pearl Street, Splott Road, Adamsdown

7j Banc Cenedlaethol Westminster, 238 Pantbach Road, Rhiwbeina

7k Tir yn Cargo Road, Bae Caerdydd

7l Tir yn Iron Bridge Road, Tongwynlais

Late Reps Schedule

Davina Fiore

Cyfarwyddwr Llywodraethu a Gwasanaethau Cyfreithiol

Dyddiad: Dydd Iau, 15 Mehefin 2017

Cyswllt: Kate Rees, 029 2087 2427, k.rees@cardiff.gov.uk

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PLANNING COMMITTEE

12 APRIL 2017

Present: County Councillor Michael(Chairperson)
County Councillors Lynda Thorne, Manzoor Ahmed, Burfoot,
Gordon, Hudson, Hunt, Murphy and Robson

149 : APOLOGIES

Councillor Ali Ahmed

150 : MINUTES

The Minutes of the 1 March 2017 and 15 March 2017 were signed as a correct record.

151 : DECLARATION OF INTEREST

COUNCILLOR	ITEM	REASON
Gordon	Page 188	Ward Member Objection
Hunt	17/00080/MNR	Personal Member of Co-Op
Thorne	16/02994/MNR	Ward Member Objection

152 : PETITIONS

Application, 17/00080/MNR, Pontcanna Post Office, 89-93 Pontcanna Street, Riverside

In relation to the above the Petitioner spoke and the Agent responded.

153 : DEVELOPMENT CONTROL APPLICATIONS

The Committee considered the schedule of development control applications submitted in accordance with the Town and Country Planning Act 1990: RESOLVED: That pursuant to this Committee's delegated powers the following development control applications be determined in accordance with the recommendations as set out in the report of the Director of City Operations subject to any further amendments as detailed below and notification be given of the decision in accordance with Section 74 of the Planning (Listed Building & Conservation Area Act 1990)

APPLICATIONS GRANTED

16/03046/MJR – FAIRWATER

CANTONIAN HIGH SCHOOL, FAIRWATER ROAD

Installation of a temporary single storey portakabin ltd complex to be used as a decant teaching facility. To be hired for a period of 156 weeks.

16/01615/MNR – PLASNEWYDD

24 BEDFORD STREET

Ground & first floor extension, dormer roof extension & conversion to 8 bed sui generis house in multiple occupation.

16/00720/MJR – BUTETOWN

HSBC BANK PLC, 97 BUTE STREET

Full Planning permission for the renovation extension and change of use of 97-100 Bute Street to create a restaurant (class A3) and 16 apartments including new penthouse (class C3); modification/extension of loading bay building fronting James Street and associated external alternations.

16/00721/MJR – BUTETOWN

HSBC BANK PLC, 97 BUTE STREET

Listed Building Consent for works to facilitate the renovation, extension and change of use of 97-100 Bute Street to create a restaurant (class A3) and 16 apartments including new penthouse (class C3) and associated external alternations.

17/00080/MNR – RIVERSIDE

PONTCANNA POST OFFICE, 89-93 PONTCANNA STREET

Change of use of part of a residential flat (class C3) to shop (class A1); construction of rear extension; installation of plant equipment and new shopfront.

17/00166/MNR – PENYLAN

126 CARISBROOKE WAY

Change of use of part ground floor into a dental practice with external alterations and construction of an outbuilding to be used as a store and an outdoor swimming pool.

APPLICATIONS GRANTED ON EXECUTION OF A PLANNING OBLIGATION UNDER SECTION 106 OF THE TOWN AND COUNTRY PLANNING ACT 1990:

15/02271/MJR – ADAMSDOWN

FORMER RIVA BINGO, AGATE STREET

Residential development of 47 self contained flats.

16/02882/MJR – PENYLAN

COLCHESTER MOTOR COMPANY, COLCHESTER AVENUE

Proposed demolition of existing building and construct residential development of 19 self contained apartments, new access, parking, cycle, refuse storage and amenity facilities.

16/03044/MNR – CAERAU

LAND ADJACENT TO NUMBER 5, CHURCH ROAD

Proposed new retail units with residential above (9 apartments), balconies and amenity roof terrace, rear car parking and associated works.

APPLICATIONS DEFERRED

16/02994/MJR – GRANGETOWN

162 -168 PENARTH ROAD

Redevelopment to provide 19 no residential dwellings, one commercial unit and associated works.

REASON: Deferred for reasons for refusal.

154 : STOPPING UP ORDER - SKAITHMUIR ROAD

The Committee was asked to request that Legal Services progress a Stopping Up Order applicable under Section 118 Highways Act 1980 to the rear of 55 Skaithmuir Road

RESOLVED: The Committee AGREED to instruct Legal Services to process a Section 257 Public Path Diversion Order.

155 : DIVERSION ORDER LLANEDEYRN 9

The Committee was asked to request that Legal Services progress a Diversion Order applicable under Section 257 Town and Country Act 1990 to retain existing public rights within new Development at Church Road.

RESOLVED: The Committee AGREED to instruct Legal Services to process a Section 257 Public Path Diversion Order.

156 : DIVERSION ORDER LLANEDEYRN 13

The Committee was asked to request that Legal Services progress a Diversion Order applicable under Section 257 Town and Country Planning Act 1990 to retain existing public rights within a new Development at Church Road.

RESOLVED: The Committee AGREED to instruct Legal Services to process a Section 257 Public Path Diversion Order.

157 : DIVERSION ORDER ST MELLONS 10

The Committee was asked to request that Legal Services progress a Diversion Order applicable under Section 257 Town and Country Planning Act 1990 to retain existing public rights within new development at Willowbrook West.

RESOLVED: The Committee AGREED to instruct Legal Services to process a Section 257 Public Path Diversion Order

158 : DIVERSION ORDER ST MELLONS 11

The Committee was asked to request that Legal Services progress a Diversion Order applicable under Section 257 Town and Country Planning Act 1990 to retain existing public rights within new development at Willowbrook West.

RESOLVED: The Committee AGREED to instruct Legal Services to process a Section 257 Public Path Diversion Order.

159 : DIVERSION ORDER ST MELLONS 12

The Committee was asked to request that Legal Services progress a Diversion Order applicable under Section 257 Town and Country Planning Act 1990 to retain existing public rights within new development at Willowbrook West.

RESOLVED: The Committee AGREED to instruct Legal Services to process a Section 257 Public Path Diversion Order.

160 : DIVERSION ORDER RADYR 41

The Committee was asked to request that Legal Services progress a Diversion Order applicable under Section 257 Town and Country Planning Act 1990 to retain existing public rights within new development Heol Isaf.

RESOLVED: The Committee AGREED to instruct Legal Services to process a Section 257 Public Path Diversion Order.

161 : REPORT TO RECORD A BRIDLEWAY AT WOODFIELD AVENUE

To record a Bridleway from Woodfield Avenue to Taff Terrace, Radyr on the Definitive Map and Statement.

RESOLVED: The Committee AGREED to request that Legal Services make a Public Path order to record a bridleway at Woodfield Avenue, Radyr and record on the Definitive Map and Statement.

17/00164/DCH – CYNCOED

59 HAMPTON CRESCENT EAST

New single storey rear extension, increase of an existing dormer and inclusion of new internal staircase

163 : APPLICATIONS DECIDED BY DELEGATED POWERS - FEBRUARY 2017
AND MARCH 2017

164 : DATE OF NEXT MEETING - 21 JUNE 2017

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PETITION, COUNCILLOR CONCERNS, MP CONCERNS, AM CONCERNS

COMMITTEE DATE: 21/06/2017

APPLICATION No. **16/02752/MJR** APPLICATION DATE: 02/12/2016

ED: **LISVANE**

APP: TYPE: Full Planning Permission

APPLICANT: PHG CAPITAL

LOCATION: LOZELLES, CHURCH ROAD, LISVANE, CARDIFF, CF14 0SJ

PROPOSAL: PROPOSED RESIDENTIAL DEVELOPMENT COMPRISING 2 HOUSES AND 11 SELF CONTAINED APARTMENTS WITH NEW ACCESS ROAD, PARKING, CYCLE, REFUSE STORAGE AND AMENITY FACILITIES

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding planning obligation in agreement with the Council under **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 9.0 of this report, planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans:
 - AL(00)01 Existing plans elevations,
 - AL(00)02 Proposed plot A Rev B,
 - AL(00)03 Proposed plot C,
 - AL(00)04 Proposed Plot D Floor Plans ,
 - AL(00)05 Proposed Plot B,
 - AL(00)10 Plot A Elevations Rev D,
 - AL(00)11 Proposed plot C elevation,
 - AL(00)12 Proposed plot D,
 - AL(90)01 Proposed Block Plan Rev H,
 - AL(90)03 Vehicle tracking plan Rev C,
 - AL(90)100 Existing site plan,
 - 2907 Arboricultural Method Statement (September 2016),
 - 2907 Lozelles Soil Resources Report (September 2016),
 - 2907-001 TPP Rev C,
 - 2907-002 Landscaping plan Rev C,
 - Traffic Assessment by Jubb (December, 2016),
 - Ecology Assessment (October 2016)

Reason: To ensure satisfactory completion of the development and for

the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. E1B Samples of Materials
4. No development shall be undertaken until details of the construction of the internal roads, including a sample of the finish surface, shall be submitted to and approved in writing with the Local Planning Authority. The approved details shall implemented before occupation of any of the residential units hereby approved and shall thereafter be retained.
Reason: To ensure an acceptable finish and surface water is controlled from the site. In accordance with Policy KP5 and EN10 of the adopted Cardiff Local Development Plan (2006-2026).
5. The upper floor windows on the west elevation of plot B shall be sited a minimum of 10.5 metres from the western boundary.
Reason: For the avoidance of doubt.
6. No development shall take place until a scheme for the drainage of the site, including an investigation on using SUDS, and any connection to the existing drainage system has been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the scheme is carried out and completed as approved.
Reason: To ensure an orderly form of development. In accordance with Policy KP5 and EN10, of the adopted Cardiff Local Development Plan (2006-2026).
7. The proposed car/cycle parking and manoeuvring areas shall be laid out in accordance with the approved details before the development is brought into beneficial use and be thereafter maintained and retained at all times for those purposes in association with the development.
Reason: To make provision for the parking of vehicles clear of the roads so as not to prejudice the safety, convenience and free flow of traffic. In accordance with Policy T5 of the adopted Cardiff Local Development Plan (2006-2026).
8. No residential property hereby approved shall be occupied until engineering, including sectional, drawings of the proposed new public footway have been submitted to and approved in writing with the Local Planning Authority The submitted details shall include but not limited to a 'no-dig' construction as shown dwg no. 2907-001 Rev C and shall be informed by a Arboricultural method statement.
Reason: To ensure an acceptable footpath to adoptable standards is built. In accordance with Policy T1 of the adopted Cardiff Local Development Plan (2006-2026).
9. No development shall take place until details of the proposed access onto Church Road have been submitted to and approved in writing with the Local Planning Authority. These details shall ensure that the access point onto Church Road is a minimum width of 5.5 metres.

Reason: To ensure a satisfactory means of access onto the adopted highway. In accordance with Policy T6 of the council's Adopted Cardiff Local Development Plan (2006-2026).

10. No construction activity in relation to this approval shall be undertaken until a construction management plan, which shall include but not limited to the proposed routes construction vehicles will enter the site, has been submitted and approved in writing with the Local Planning Authority.

Reason: To ensure the impact on the adjoin roads is acceptable In accordance with Policy T5 of the adopted Cardiff Local Development Plan (2006-2026).

11. All planting, seeding, turf-laying and paving shown on the approved plans number 2907-002 Rev C shall be carried out in the first planting and seeding season following the occupation of the building or the completion of the development, whichever is sooner.

Any newly planted trees, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority (LPA) otherwise defective, shall be replaced in the first available planting season and to the specification shown on approved plans and in supporting documents, unless the LPA gives written consent to any variation.

Reason: To maintain and improve the amenity and environmental value of the area. In accordance with Policy KP5 & EN8 of the adopted Cardiff Local Development Plan (2016-2026).

12. During construction the trees shall be protected as shown on approved plan 2709-001 Rev C.

Reason: To ensure amenity and environmental value of the area. In accordance with Policy EN8 of the adopted Cardiff Local Development Plan (2016-2026).

13. The development hereby approved shall be undertaken in accordance with the recommendations outlined in chapter 8 of the Ecology Assessment dated 2016 from Ethos Environment Planning.

Reason: To ensure protected species are no affected by this development in accordance with conservation of Habitats and Species Regulations 2010 (as amended).

14. No development shall be undertaken until details of a lighting strategy has been submitted and approved in writing with the Local Planning Authority. The approved details shall be implemented on site before the occupation of the units hereby approved and shall thereafter be retained.

Reason: To ensure protected species are not affected by this development in accordance with conservation of Habitats and Species Regulations 2010 (as amended).

15. The development hereby approved shall not in any circumstances commence unless the local planning authority has been provided with either:

- (a) a licence issued by [the relevant licensing body] pursuant to Regulation 53 of The Conservation of Habitats and Species Regulations 2010 (as amended) authorising the specified activity/development to go ahead; or
- (b) a statement in writing from the relevant licensing body to the effect that it does not consider that the specified activity/development will require a licence.

Reason : To ensure protected species are not affected by this development in accordance with conservation of Habitats and Species Regulations 2010 (as amended).

16. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order amending, revoking, or re-enacting that Order) no structure, or extension shall be placed within the curtilage of any dwelling or alteration to any roof.

Reason: To maintain and improve the amenity and environmental value of the area. In accordance with Policy KP5 of the adopted Cardiff Local Development Plan (2016-2026).

17. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order amending, revoking, or re-enacting that Order) no gate, fence, wall or other means of enclosure shall be erected, constructed or placed within the curtilage of any dwelling house forward of any wall of that dwelling house which fronts onto a highway without the prior written consent of the local planning authority.

Reason: The comprehensive design and layout of the development would be adversely affected by the erection of means of enclosure, particularly of different types, in front of dwellings. In accordance with Policy KP5 of the adopted Cardiff Local Development Plan (2016-2026).

RECOMMENDATION 2 : To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 3 : The applicant is advised no works shall be undertaken that affects the public highway until a S. 278 Agreement has been signed by the Council's Highways Section.

RECOMMENDATION 4 : Prior to the commencement of development, the developer shall notify the local planning authority of the commencement of development , and shall display a site notice and plan on, or near the site, in accordance with the requirements of Article 12 of the Town & Country Planning (Development Management procedure) (Wales) (Amendment) Order 2016.

1. DESCRIPTION OF PROPOSED DEVELOPMENT

- 1.1 Full Planning permission is sought for redevelopment of the site from one house to a mixture of 2 houses and 11 flats.
- 1.2 The site is configured with two blocks of flats (plots A & B) located towards the southern boundary, and plot C, being the extended existing house, located towards the northern boundary. Blocks A, B and C would be accessed from the new Church Road junction, with a further plot D (new 5-bedroom house) sited towards the northern boundary and accessed from Heol-y-Delyn.
- 1.3 The proposal also seeks a new footpath to connect Heol-y-Delyn to the shops along Church Road. The applicant is willing for this footpath to be formally adopted by the Council (see site plan AL (90)01 Rev G).
- 1.4 The application has been subject to the statutory 28-day pre-application consultation (PAC) which has informed both the PAC Report and Design and Access Statements.
- 1.5 The application has been amended by removing three flats from the proposal, providing a no-dig along part of the proposed footpath, change in materials to the buildings, parking spaces and internal road.

2. DESCRIPTION OF SITE

- 2.1 The site is a 0.38 ha corner plot located on the Church Road/ Heol-y-Delyn Junction. The site contains a Victorian house and outbuildings which are positioned to the north of the site with the remaining area being garden to serve the house. The site is generally flat and enclosed by a mature hedgerow. Along the Church Road boundary are two mature purple beech trees that are protected by Tree Preservation Orders (City and County of Cardiff (Plas-y-Delyn Area, Lisvane) TPO 2009)
- 2.2 The property has a vehicular access onto both Church Road and Heol-Y-Delyn.
- 2.3 The eastern boundary of the site adjoins Church Road which is a single carriageway highway approximately 5 metres wide with street lighting but no footways. There are double yellow lines on both sides of the road but no white lining. A 20 mph speed limit has recently been introduced together with speed tables at the junctions with Heol y Delyn and Cefn Mably Road.
- 2.4 Heol y Delyn is lit and, except for a short distance between Church Road and the access to Lozelles, there are footways on both sides.

2.5 The western boundary of the application site adjoins the side boundary of an extended semi-detached house known as Helfa which fronts onto Heol-y-Delyn. To the north of the application site, on the opposite side of Heol-y-Delyn, lies Lisvane Library/Community Centre.

2.6 The site is not located within a Conservation area or a defined flood risk zone.

3. **SITE HISTORY**

3.1 15/02618/MNR- outline permission for 1 detached house- approved;

3.2 15/0583/MNR outline permission for two detached houses- approved.

4. **POLICY FRAMEWORK**

4.1 Planning Policy Wales Ed. 9 (2016);

4.2 Technical Advice Note (TAN): 5 (Nature Conservation and Planning), 12 (Design), 18(Transportation);

4.3 The Cardiff Local Development Plan 2006-2026 provides the local planning policy framework. Relevant policies include:

KP5: Good Quality and Sustainable Design;

KP6: New Infrastructure;

KP7: Planning Obligations;

KP8: Sustainable Transport;

KP14: Healthy Living;

KP15: Climate Change;

H3: Affordable Housing;

T1: Walking and Cycling

T5: Managing Transport Impacts;

T6: Impact on Transport Networks and services;

EN7: Priority Habitats and Species;

EN 8: Trees, Woodlands and Hedgerows;

EN10: Water Sensitive Design;

EN13: Air, Noise, Light Pollution and Land Contamination.

C1: Community Safety and Creating Safe Environment

C5: Provision for Open Space, Outdoor Recreation, Children's' Play and Sport

W2 Provision of Waste Management Facilities in Development

4.4 Further advice is provided in the following adopted Supplementary Planning Guidance documents:

Planning Obligations (January 2017);

Cardiff Residential Design Guide (January 2017);

4.5 The documents below were approved as supplementary guidance to the City of Cardiff Local Plan which was superseded by the Cardiff Local Development

Plan on 28th January, 2016. The Council will shortly be embarking on a programme of updating and revising previously approved SPG. Notwithstanding this position, the advice contained within the SPG is consistent with the aims of relevant LDP policies and therefore remains pertinent to the consideration of the current application, assisting in informing the assessment of relevant matters.

Access, Circulation and Parking (January, 2010);
Trees and Development (March, 2007);
Biodiversity (part 1&2) (June 2011);

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 Operational Manager (Transportation): No objections subject to conditions on parking provision construction management plan and details plans of the proposed footpath. A number of design considerations would be considered under S.278 of the Highways Act.
- 5.2 Operational Manager (Drainage) has been consulted and no comments have been received
- 5.3 The Housing Strategy Manager states that, given the scale and nature of development proposed, it is considered that a financial contribution of £232,290 shall be sought in lieu of on-site affordable housing.
- 5.4 Parks Officer: No objection subject to a financial contribution of £23,137 for public open in lieu of on-site requirements;
- 5.5 Waste management seek financial contribution of £1,760.00 for the appropriate refuse containers.
- 5.6 Trees Officer: No objection subject to conditions relating to retaining landscaping, and for a 'no-dig' including materials to be submitted for approval
- 5.6 Pollution Control: No objection subject to plant and lighting scheme conditions
- 5.7 Ecology Officer: No objection subject to conditions

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Natural Resources Wales: No objection subject to conditions on the developer gaining an EPS license and for a lighting strategy;
- 6.2 South Wales Fire and Rescue Service: No objection, but make a number of observations that are controlled through Building Regulations;
- 6.3 South Wales Police: No objections to the scheme;
- 6.4 CADW: Have no comments to make on the application

7. **REPRESENTATIONS**

7.1 Neighbouring properties have been notified with additional publicity undertaken by site and local press notices. A total of 20 letters of representation have been received. All object on the following grounds:

- i) The proposal is out of character with the village area with the three storey element looking like an office block (example given is that of the former Morgan Cole Solicitors office on the corner of Park Place and Stuttgarter Strasse);
- ii) The development is visually overbearing upon the character of the area;
- iii) Given its siting and design, the development would be overbearing and un-neighbourly upon the surrounding houses;
- iv) The development will result in the loss of privacy and amenity of the surrounding houses
- v) There is insufficient parking provision which will overspill onto the adjoining roads, which are already at capacity (circa 6000 vehicle movements per day);
- vi) The footpath will not connect with the shops as there is a wall blocking the route which is outside the ownership of the applicant;
- vii) During construction, given the narrowness of Church Road, it will make it difficult for construction vehicles to access and egress the site safely without affecting the existing traffic that currently uses this road;
- viii) How will the proposal ensure the path will be adopted and linked to land outside the ownership of the developer?
- ix) The scheme is allegedly marked as retirement housing but nothing in the plans would indicate that the scheme is for that market e.g lifts.
- x) The impact of the development on house values
- xi) The development will impact upon the ability of adjoining properties to access their own properties.
- xii) The impact upon protected species, such as dormice.

7.2 A petition of 111 signatures has been submitted in objection to the scheme on the following grounds:

Overdevelopment of the site;

Out of keeping with the area;

Unacceptable impact upon the existing roads due to insufficient parking provision

- 7.3 Councillor Walker: Wishes to address the committee and request a site visit;
- 7.3 Craig Williams Member of Parliament for Cardiff North raises concerns over traffic impact upon the narrow Church Road. It is also requested that the impact upon the listed church is taken into consideration
- 7.4 Julie Morgan, Assembly Member for Cardiff North: Objects on the grounds that the proposal is an overdevelopment of the site, insufficient parking provision, unacceptable impact upon the existing road network and believes the proposal would be un-neighbourly upon the properties at Plas-y-Delyn.
- 7.5 Lisvane Community Council: provides a comprehensive objection which can be summarised as follows:
1. The development would be unsympathetic, incongruous and cramped. It would fail to respect the essentially rural nature of the immediately surrounding area. Although the response to the pre-application consultation makes much of the plans to retain trees and hedgerow, that does not alter the fact that development on the proposed scale in the historic heart of Lisvane village would be entirely inappropriate.
 2. Business 'rush hour' and school start and finish times already generate high traffic volumes on Church Road, the narrow country lane adjacent to the proposed site, which is barely wide enough for two vehicles to pass.
 3. The road safety problem would be exacerbated by the wholly unsuitable locations of the access points. The one on Church Road would be dangerously close to the parking area outside the shops and the junction with Cefn Mably Road, while that on Heol-y-Delyn would be very close to the junction with Llwyn-y-Pia Road. Church Road, Heol-y-Delyn and Llwyn-y-Pia Road are part of a popular 'rat run' to and from Thornhill Road and are already very busy at peak times.
 4. The Transport Statement indicates that TRICS, the national trip-rate database, has been used to calculate the number of peak hour trips, but many of the sites chosen to provide the average trip rate per dwelling have a significantly higher number of buses than Lozelles. Because of this the overall trip rate is low (around 0.5 per dwelling). A more representative figure would be one per dwelling during a peak hour. During the AM peak hour this will be 0.7 per dwelling leaving and 0.3 per dwelling entering the site and during the PM peak hour this movement will be reversed. On this basis the development will generate around 16 two-way flows during peak hours.
 5. The use of Church Road by HGVs entering and leaving the proposed development will require the whole width of the road at its junction with Cefn Mably. The number of HGV's generated by the site will be

significantly higher than those generated by the approved development, which will increase the risk of hazards in Church Road.

6. On the question of on-site parking, it would appear that the developers are not providing the maximum allowed under Cardiff's standards. The proposal shows 30 parking spaces. The maximum under the guidelines would be 37, including visitor spaces, which is reasonable since there is no on-street parking nearby, no evening or Sunday bus service and the distance from the railway station (1 mile) is unlikely to encourage walking. The Cardiff SPG which includes parking takes a number of factors into consideration when considering proposed parking provision. One factor is... *'v. accessibility to and availability of high frequency public transport and public transport facilities'*. The local bus service cannot be described as 'high frequency' so the proposed development should provide the maximum number of parking spaces.

8. **ANALYSIS**

- 8.1 The key issues are: loss of green field site, overdevelopment, out of character with the area, Parking provision and highway safety, impact upon neighbouring properties impact upon the protected trees and protected species.

8.2 **Loss of Greenfield Site**

Planning Policy Wales seeks efficient use of land (para 4.11.5) with preference to the redevelopment of previously development land 'brownfield' land over 'greenfield' (para 4.9.1). Figure 4.4 defines previously development land as:

"land is that which is or was occupied by a permanent structure (excluding agricultural or forestry buildings) and associated fixed surface infrastructure. The curtilage (see note 1 below) of the development is included, as are defence buildings, and land used for mineral extraction and waste disposal (see note 2 below) where provision for restoration has not been made through development management procedures.

Excluded from the definition are:

land and buildings currently in use for agricultural or forestry purposes;

land in built-up areas which has not been developed previously, for example parks, recreation grounds and allotments, even though these areas may contain certain urban features such as paths, pavilions and other buildings;

land where the remains of any structure or activity have blended into the landscape over time so that they can reasonably be considered part of the natural surroundings;

previously developed land the nature conservation value of which could outweigh the re-use of the site; and previously developed land subsequently put to an amenity use.”

The site forms the curtilage of an existing dwelling and whilst green in nature is defined under national policy as previously development and is therefore in principle acceptable for redevelopment subject to meeting other policy objectives outlined below

8.3 **Overdevelopment**

Whilst the site is, in national policy terms, suitable for redevelopment Planning Policy Wales does caveat that in note 1 of Figure 4.4 which states:

“The curtilage is defined as the area of land attached to a building. All of the land within the curtilage of the site will also be defined as previously-developed. However this does not mean that the whole area of the curtilage should therefore be redeveloped. For example, where the footprint of a building only occupies a proportion of a site of which the remainder is open land (such as a hospital) the whole site should not normally be developed to the boundary of the curtilage. The local planning authority should make a judgement about site layout in this context, bearing in mind other planning considerations such as policies for the protection of open space, playing fields or development in the countryside. They should consider such factors as how the site relates to the surrounding area and requirements for on-site open space, buffer strips and landscaped areas.

Further advice within Planning Policy Wales (paras 4.11.6 & 9.3.4) seek good design to not adversely harm the amenities of an area. The Council's overarching design Policy KP5 seeks, inter alia, a similar approach.

Whilst the principle of development on this site has been established with recent outline applications for a three houses, it is acknowledged that this application proposes a significantly higher density than currently approved, Notwithstanding the above, it is considered that, given the proposed parking, and amenity space provided, and privacy distance between neighbouring properties, the proposal would not be considered an overdevelopment of the site and would allow an acceptable level of amenity for both the future occupiers and neighbours.

8.4 **Out of Character with the Area**

National Planning Policy seeks good design and this is reflected in the Council's adopted Local Development Plan, where Policy KP5 requires all new development to be of a high quality, sustainable design and make a positive contribution to the creation of distinctive communities, places and spaces. For major developments (such as this application) further detailed guidance is provided within the approved Residential Design Guide SPG (January, 2017).

The character of the immediate area is formed by predominantly two-storey

detached and semi-detached housing with pitched roofs within relatively large plots; however some substantial 2.5 storey housing does exist within the vicinity. The site is within what is considered to be the traditional core of the village where varying building scales, positioning, height and uses create an area of mixed character. Significant protected trees and (unprotected) hedging contribute positively to the visual amenity of the area.

The proposal is for a mixture of two-storey housing and 3-storey flats, set well back from Church Road. Significant revisions have been made to the layout and scale of development since the initial submission. The scale of the apartment block element of the proposal has been reduced significantly, to the extent that the two blocks would now be sufficiently set apart to be considered appropriate to the local context in terms of layout, scale, form, massing and density. The design, detailing and materials are considered to be of sufficiently high quality and consistent with the character of the wider area, taking cues from the larger red brick gabled Edwardian properties fronting key roads within parts of Lisvane.

The proposal would introduce an internal road with parking off it. However, frontage parking is not uncommon in this area and it is considered that on balance would not harm the character of the area. To further reduce its impact, parking would be positioned primarily away from the direct frontages of the buildings, and would be set within high quality hard and soft landscaping.

The proposal would remove the existing hedging along the eastern boundary. However, that hedging could be removed without the need for permission and replaced with a means of enclosure that could be detrimental to the visual amenity of the area.

8.5 Parking/Highway safety

The application and the accompanying Transport Assessment have been considered by the Council's Transportation Officer who raises no objections on highway safety grounds, while the proposed parking provision for the scheme is in compliance with the requirements of the SPG (Access, Circulation & Parking). Whilst it is noted that the parking provision is not at the highest point of the upper level of the Council's parking standards advice in national policy (para 8.4 PPW) the proposed level of parking is considered policy compliant. Conditions are required with regards to provision and future retention of parking and cycle parking.

In terms of the proposed pedestrian path around the site frontage, officers are satisfied with the submitted details and that the Council's Highways Section would adopt the pathway in order to secure its future availability for public use. A further condition is required relating to the submission of full engineering details of the new access (es) and the frontage footway to the Council for approval prior to the commencement of the development, with the approved works to be implemented prior to beneficial occupation. A Construction Management Plan condition is also required, together with a condition stipulating that the new access off Church Road shall be a minimum of 5.5

metres in width. The applicant is also advised that the frontage footway works will be subject to an agreement under Sections 278 and 38 of the Highways Act 1980 and will require the developer to liaise with the Council's Operation Manager, Street Operations in this respect.

The Operational Manager (Transport) advises that the proposed access points are acceptable and would allow adequate visibility to a range of vehicles, including larger lorries/refuse vehicles. In terms of the associated trips from the development, officers note the concerns of residents regarding the use of Church Road as a 'rat run', and also the occasional on-street parking associated with services at the church. However, these are existing problems that would not be exacerbated to an unacceptable extent by the proposed development; which would on average generate 8 two way trips during peak times. This equates to approximately one additional trip on the road every 8 minutes, which is not considered sufficient to warrant a refusal of this scheme, especially in the context of the benefits that the proposed frontage footway would bring. Whilst residents dispute these findings, the methodology used (TRICS database) is a nationally recognised model, and is therefore reasonable for use as an indication of the impact the proposal may have. It is also noted that the calculations have not been modified to take into account the reduced number of units.

The scheme includes the creation of a pedestrian footway linking the 'village centre' of Lisvane to those areas to the north and would allow both new and existing residents to access these facilities safely by foot; thereby encouraging this mode of travel rather than by car in line with Council policy. It would also significantly improve the existing visibility at the Church Road/Heol y Delyn junction. These are seen as major positive attributes of the scheme which, on balance, is considered to provide an overall net benefit to highway safety.

8.6 Impact upon Neighbouring Properties

Both National Planning Policy and the Council's design policies and SPGs seek development not to adversely harm the amenity and privacy of neighbouring

To the west are the existing houses. "Helfa" is the closest property and has been extended by a two storey side extension and benefits from an out building. It is considered that given this context the proposed scheme would not result in the loss of amenity or result in an un-neighbourly form of development upon this property. Further along the western boundary are the semi-detached houses of Plas-y-Delyn, these properties are sited lower than the site but benefit from long gardens (approximately 30 metre from the back of the house to the rear boundary). The 3 storey flats would be sited approximately 10.5 metres away from this boundary with some element of screening. It is considered that this separation and proposed layout will ensure that the proposal will not result in a loss of amenity or privacy

8.7 Impact upon the Protected Trees/Landscaping

Along the eastern (Church Road) boundary are two protected Copper Beech

Trees, which are according to the Arboricultural Method Statement, are in good health. These trees will be retained within the scheme. To ensure that trees are not affected by the proposed pathway (that would be sited within the route protection area) a condition has been imposed for this section of the pathway to be of a 'no-dig' construction. It is also considered that the proposal as a whole would not undermine these protected trees.

A number of the trees and hedging along the Church Road Boundary are to be retained, as this will ensure that bats within the area have suitable resting areas.

In terms of the overall landscaping strategy it is considered that the proposal would retain those elements of the existing elements that are considered important. It will also remove a number of trees/hedges the western/southern boundaries, this will allow the amenity space to become useable and will allow sufficient growth for the remaining trees/hedge row.

8.8 Protected Species

The application has been accompanied by an Ecology Assessment, which indicate the presence of bats within the grounds and the roof of the existing house. Bats are a European Protected Species under Conservation of Habitats and Species Regulations 2010 (as amended). Cardiff Council has a duty to have regard to the requirements of the Habitats Directive so far as they may be affected by the exercise of its functions. The requirements in this case being the strict protection afforded to bats. The advice of both the Council's Ecologist and Natural Resources Wales is that a bat license will be required. In line with guidance a condition has been imposed that no development shall take place until the license has been issued with a further condition imposed to comply with the requirements of the recommendations of the Ecology Assessment which will ensure that the bats are not affected by the proposal.

Dormice

Although dormice have been recorded in close proximity to the site, officers would not say that there is sufficient ecological connectivity to those records, nor that the habitats on site are particularly suitable for this species. Therefore, in line with the submitted Ecology Assessment, there is limited potential for dormice to be present, so while a survey for this species is not needed, officers support the proposed mitigation measures set out in section 8 of the report.

Nesting Birds

Nesting birds are likely to be affected by any removal of trees, shrubs, bushes etc., as well as be demolition of buildings, including outbuildings. However, it is not considered that a nesting bird survey is required and that the conditions set out in section 8 of the Ecology Assessment are sufficient.

8.9 **Other matters not assessed above**

The planning system regulates in the public interest. The planning system does not exist to protect the private interests of one person against the activities of another (para 3.1.4 PPW), therefore matters of loss of land value are not a material consideration.

9. **Planning obligations**

National Policy and CIL regulations outline the legal requirements for a valid Planning obligation. The Council's approved Planning Obligations SPG provides further guidance. The following financial contributions are required:

£232,290 towards affordable housing provision
£23,137 for public open space in lieu of on-site requirements;
£1,760.00 for waste management.

Having regard to policy and legal requirements outlined above it is considered that the requests meet the necessary tests and policy requirements. The agent has confirmed that his client is willing to enter into an agreement to secure these contributions

10. **Conclusion**

The proposal is a brownfield site and is located within close proximity to local amenities. The proposed scale, massing and design is considered to meet national and local policy objectives and have regard to the character of the area. For the reasons outlined above, planning permission is recommended for approval subject to conditions.

11. **Legal considerations**

11.1 ***Crime and Disorder Act 1998***

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

11.2 ***Equality Act 2010***

The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. Having due regard to advancing equality involves:

removing or minimising disadvantages suffered by people due to their protected characteristics; taking steps to meet the needs of people from protected groups where these differ from the need of other people; and

encouraging people from protected groups to participate in public life or in other activities where their participation is disproportionately low.

The above duty has been given due consideration in the determination of this application.

It is considered that there would be no significant or unacceptable impact upon persons who share a protected characteristic, over and above any other person, as a result of the proposed decision.

11.3 *Planning (Wales) Act 2015 (Welsh language)*

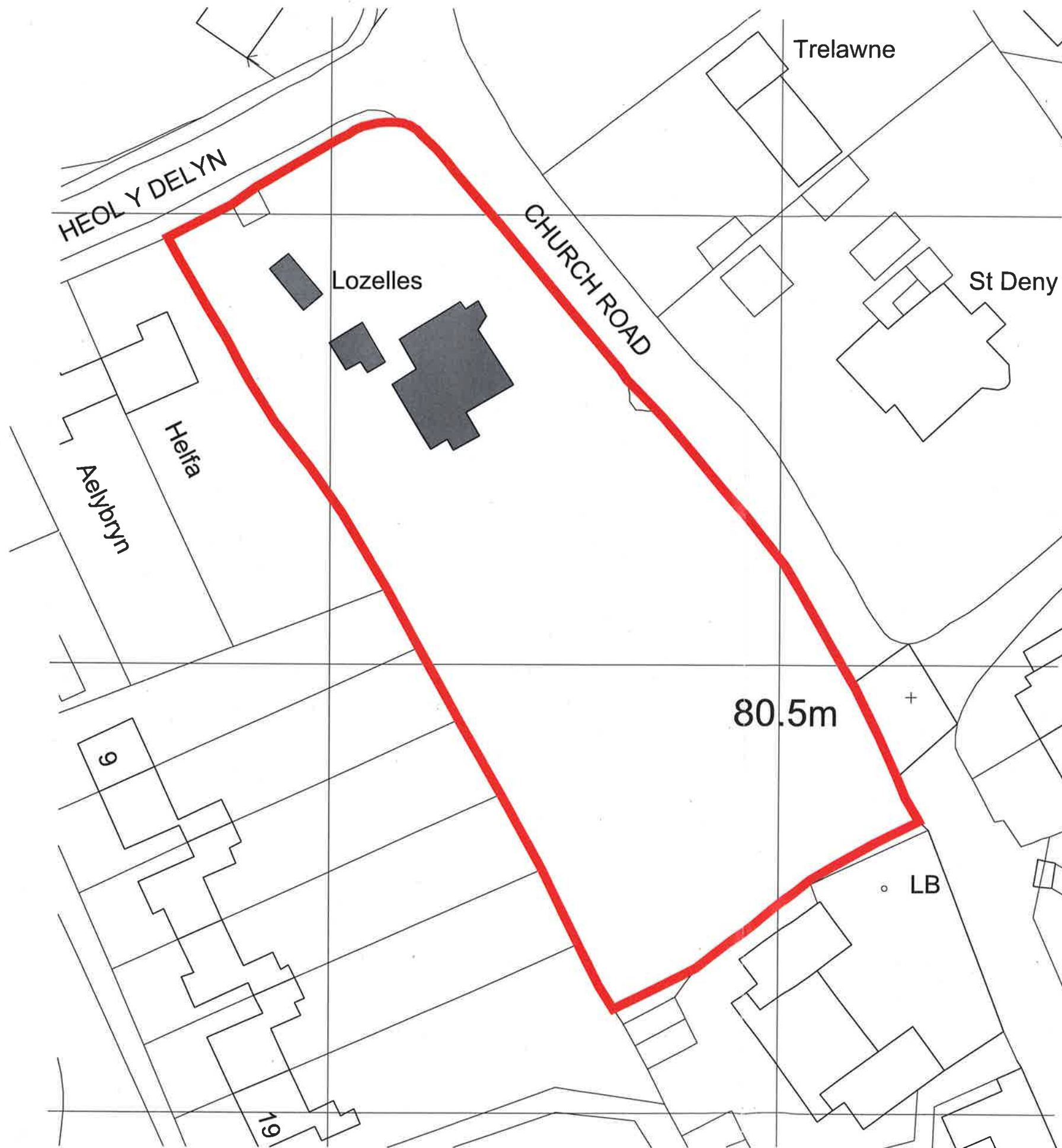
Section 31 of the Act clarifies that impacts on the Welsh language may be a consideration when taking decisions on applications for planning permission so far as it is material to the application. This duty has been given due consideration in the determination of this application. It is considered that there would be no material effect upon the use of the Welsh language in Cardiff as a result of the proposed decision.

11.4 *Wellbeing of Future Generations (Wales) Act 2015*

Section 3 of the Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the proposed decision.

11.5 *Biodiversity and Resilience of Ecosystems Duty*

These comments contribute to this Authority's discharge of its duties under Section 6 of the Environment (Wales) Act 2016. This duty is that we must seek to maintain and enhance biodiversity in the exercise of our functions, and in so doing promote the resilience of ecosystems, so far as is consistent with the proper exercise of those functions. In complying with this duty we will have to take account of the resilience of ecosystems, in particular the diversity between and within ecosystems; the connections between and within ecosystems; the scale of ecosystems; the condition of ecosystems and the adaptability of ecosystems.




LOCATION PLAN
1:500




LOCATION PLAN
1:1250

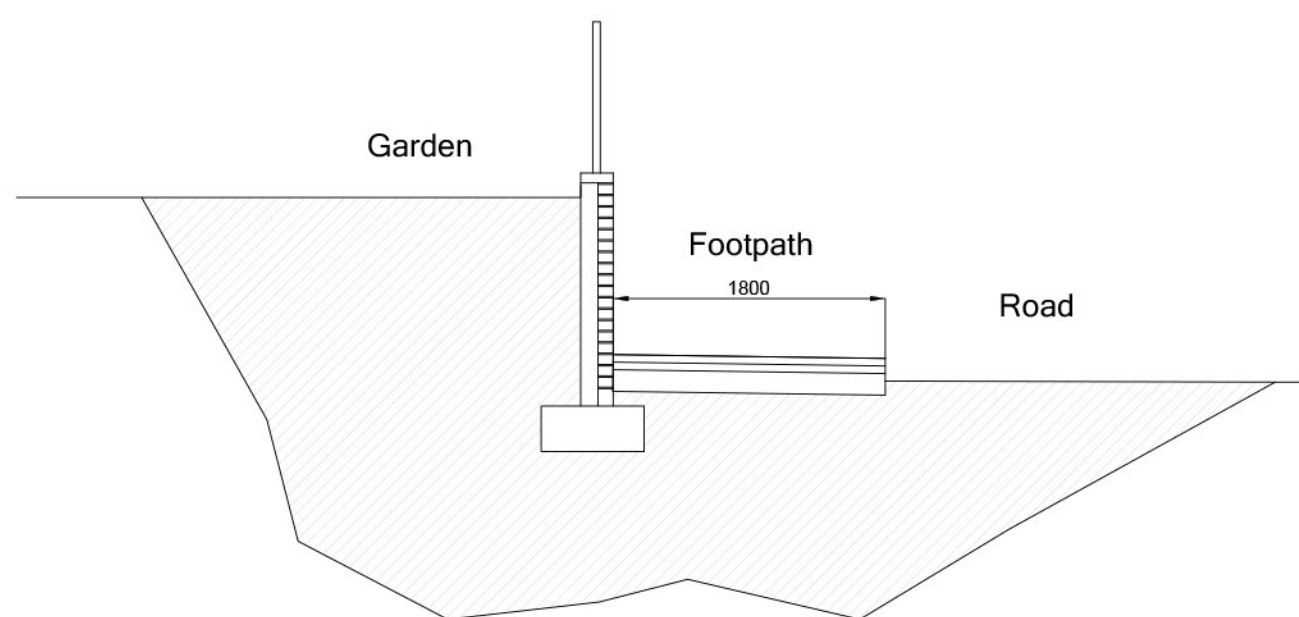


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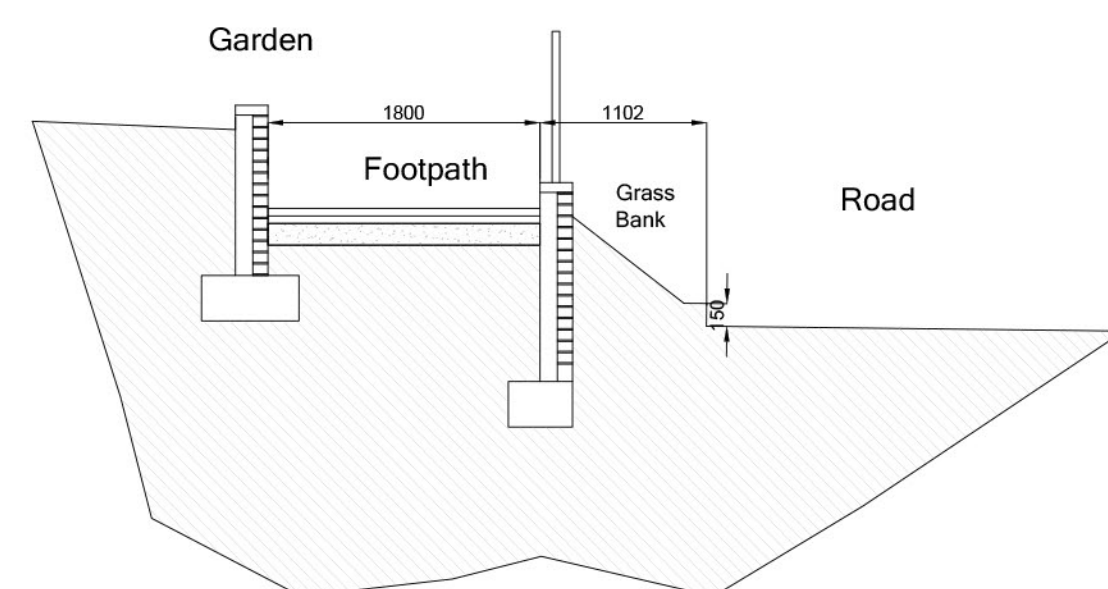
Residential Development Lozelles Site, Lisvane		Job No. 16_047
Title Location Plan		Dwg No. AL(00)10
Date 05/10/16	Drawn kp	Scale 1:500/1250 A3
 G2 Architects Environmental & Urban design		Town planners www.g2arch.co.uk 019 20452150

Materials	
	Permeable Block Paving
	Tegula Permeable Block Paving

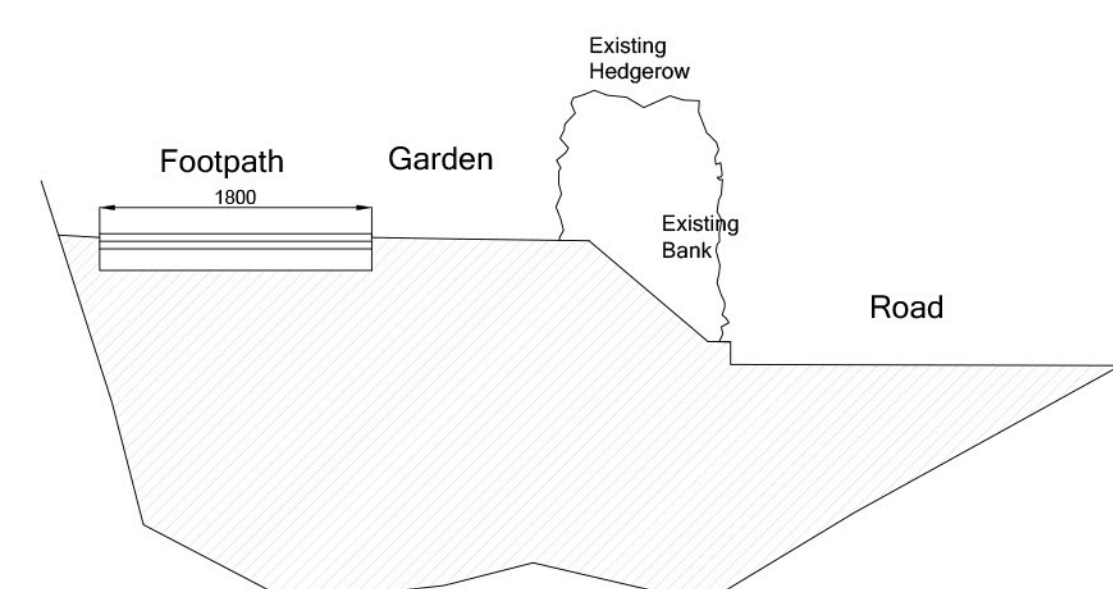
Date	Drawn	Check	Description	Rev.
02/12/16	***	***	Scales Revised	A
20/12/16	***	***	Entrance gates omitted	B
16/01/16	***	***	Main buildings moved to create more open space, buildings reduced in height	C
			pavement to entrance altered and access road widened to accord with highway comments	
			Refuse vehicle size confirmed, entrance crossing adjusted, car park spaces omitted	D
			under tree canopy, public footpath gradients confirmed, access to bin stores increased	
15/03/17	***	***	Pedestrian foot path oved away from highway and Grass Verge added	E
21/03/17	***	***	Block A changed to 2 seperate blocks of apartments, Grass crete added to car park spaces	F
			Redline boundary to shopping precinct adjusted to accord with land title boundary	
14/04/17	***	***	Apartment block omitted in line with planners comments	G
06/06/17	***	***	Boundary distances added	I



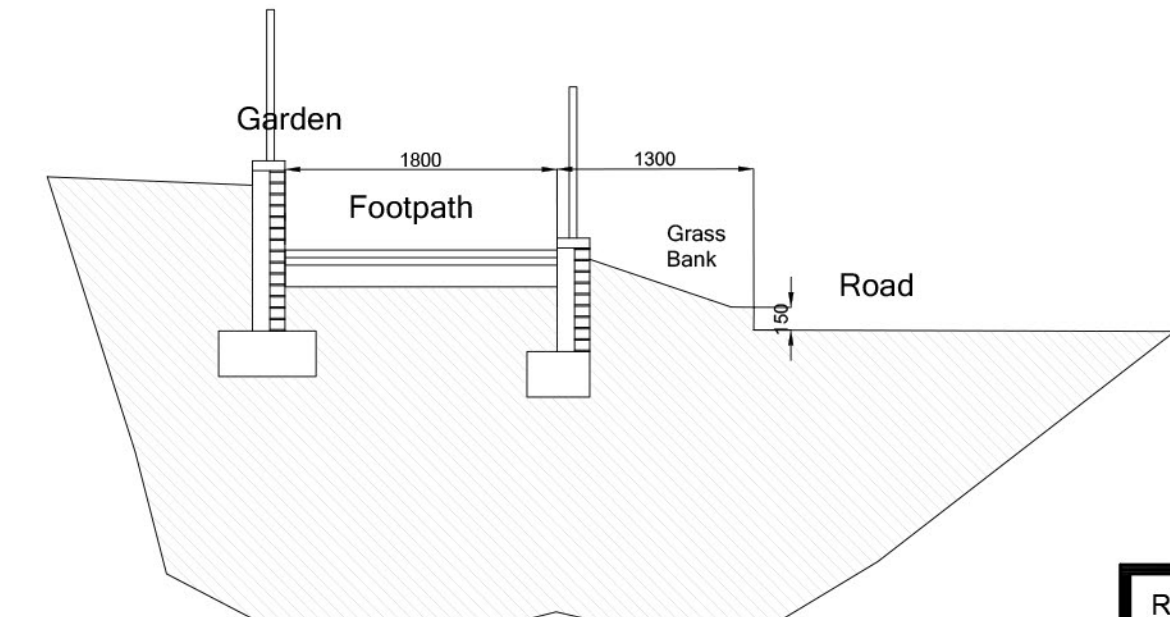
Section A - A



Section B - B



Section C - C



Section D - D

Foot Path Cross Sections

Residential Development Lozelles Site, Lisvane		Job No. 16_047	Rev. H
Title Proposed Site Plan		Dwg No. AL(90)01	
Date BK	Scale 1:250@A1 & 500@A3		

C² Architects · Town planners
Environmental & Urban design

Unit 1A, Compass Business Park,
Pacific Road, Cardiff, CF24 5HL. www.c-jarchitects.co.uk
tel: 029 20421101

Proposed Landscape Specification

1.0 WORKMANSHIP – GENERAL
All work must be to the satisfaction of the supervising Landscape Architect.

1.1 SITE CLEARANCE
Where the site has not been wholly cleared, the Contractor shall cut, rake up and remove from site all vegetation excepting those existing plants to be retained as shown on the drawings. Roots shall be grubbed up. All rubbish and hardcore shall be removed from site to tip at the Contractors expense. Reference should made to the Tree Protection Plan.

1.2 HORTICULTURAL SOIL RESOURCE REPORT
This soft landscaping scheme should be read in conjunction with the Horticultural Soil Resource Report prepared in accordance with the 2009 DEFRA Construction Code of Practice for the Sustainable Use of Soils on Construction Sites. Refer to the report for details on available soil resource, soil analysis, soil suitability, and soil storage, placement and pre-planting.

1.3 EARTH FILL AND GRADING
When this is to form part of the works, the Contractor must firstly strip all site topsoil from the area to be filled or graded, making sure that all the existing vegetation and stones over 50mm have been removed and carted off site. Store the topsoil in uncompacted heaps not over 1.25m in height, taking care that it is not mixed with subsoil or deleterious material.

1.4 SUBSOILING AND TOPSOILING
All Topsoil to conform to BS3882:2015, all subsoil to conform to BS 8601:2013.

Soil profiles for areas of new planting:
- Grass: 150mm depth topsoil over 150mm depth subsoil
- Shrubs: 300mm depth topsoil over 300mm depth subsoil
- Trees: 300mm depth topsoil over 600mm depth subsoil

Any levels to be made up beneath topsoil depths shall be made up by using sub-soil fill. Topsoil and sub-soil shall each be deposited in separate spoil heaps and strict precautions are essential to prevent loss or admixture of topsoil with sub-soil. The Contractor is to take all due care in the course of the earth moving work, to ensure that all deposited material is evenly consolidated and especially that any lumps of soil are completely broken up in the course of the grading work. A suitable period is, if possible, to be permitted to elapse subsequent to soil being placed to allow for major settlement prior to finishing, grading, grassing and planting.

1.5 TREE SUPPLY, HANDLING AND PLANTING
Shall be accordance with BS8545:2014 (*Trees: from nursery to independence in the landscape - recommendations*). See Tree Pit Section for planting. All tree planting, including containerised stock, shall be carried out between November and March but not during periods of frost, drought or cold drying winds. At the time of planting and at such times as directed, all plants shall be thoroughly watered. Staking only required for standards.

1.6 PROTECTION OF SUPPLIED PLANTS
Plants shall be protected from root exposure and desiccation at all times, bare roots shall be heeled in properly and protected during the planting operation. Containerised plants shall be adequately watered whilst awaiting planting. Seeds shall be protected from harmful temperature/moisture fluctuations and vermin.

1.7 SHRUB CULTIVATION, PREPARATION AND PLANTING.
All shrub planting, including containerised stock, shall be carried out between November and March but not during periods of frost, drought or cold drying winds. At the time of planting and at such times as directed, all plants shall be thoroughly watered. Container grown plants should be thoroughly soaked prior to removing the container. Unsuitable plants and materials, rejected by the Landscape Architect, shall be cleared from site and replaced with satisfactory goods at the Contractors expense. The whole of the areas to be shrub planted, as shown on the drawings, are to be thoroughly cultivated to a fine tilth by hand or machine, where appropriate and broken up to not less than 300mm deep and thoroughly cleared of all extraneous matter. The Contractor is to allow for the removal from Site of all rubbish, stones and weed growth. Fill depressions in ground surface with topsoil and lightly compact in 150mm layers until surface is level with surface of surrounding ground. Prior to planting, fork in a 50mm layer of composted bark, composted garden waste or mushroom compost. Bring the soil to an even tilth and necessary firmness.

1.8 SHRUB PLANTING
Beech hedging to be notch planted, care taken to avoid damage to existing roots. All other shrub planting: dig holes to adequate size and depth to take rootball or root system. Make sure that the root system is not damaged in any way and that the plant is at the same depth as it was at the nursery. Backfill is to be well worked in around the roots and properly firmed in. Containerised plants shall be thoroughly soaked before removal from containers and planting. Individual planting positions, shown on the drawing, shall be prepared to the same standards as borders. Allow a pit not less than 450mm diameter increased as necessary to accommodate spread out root systems or rootballs so that the pit diameter exceeds the root spread by 300mm overall or 600mm for trees.

1.9 BARK MULCH After planting spread bark mulch to a depth of 75mm over all planted areas. Mulch shall be graded softwood bark flakes. Nominal particle size – as measured using BS sieving techniques – shall be 10-40mm with no more than 15% below 10mm. Material consisting largely of long thin particles will not be accepted. The bark shall have been removed from the parent timber and matured for a minimum of four months prior to application as mulch. Combined timber/sawdust/shaving content shall be no more than 5%. The pH shall be between 4 and 7. Available manganese content shall be no greater than 35 PPM. It shall be free flowing, pest, disease and weed free. The Contractor shall supply a small representative quantity to the Landscape Architect for approval. All mulch used must be of equal quality as the approved sample. The Contractor shall keep the initial load for comparison. The quality must be maintained throughout and any delivery below the standard of the approved sample will be rejected and must be carried away at the Contractors expense, as must any surplus mulch. When completed ensure that the mulch is not spread over paving or other hard surfaces.

1.10 LAWN SEEDING/TURFING The Contractor shall carry out seeding/turfing and maintenance of seeded areas in accordance with the seed/turf supplier's guidance. Areas for seeding/turfing should be on firmed but not compacted topsoil of minimum 150mm depth that has been broken up to full depth (except within in Root Protection Areas). The surface should be reduced to a fine tilth and areas to be seeded/turfed should be free of weeds. Surface stones exceeding 10mm should be removed prior to seeding/turfing.

1.11 ADDITIONAL NOTES
Formative pruning of young trees to accord with BS3998:2010 (*Tree works - Recommendations*). Tree ties and stakes: Ties and staking to be inspected quarterly and adjusted as required to avoid damage to tree. Ties and stakes to be completely removed after 12 months. Mulched areas: inspect and top-up mulch areas annually, as per 1.9. Watering during 2 years establishment period: as required to ensure thriving, notably during dry spells and in summer. Hedging: trim annually to batter during autumn and outside of breeding bird season (i.e outside February to August). Remove arisings.

N.B. No peat to used in the preparation or planting.



Plant Schedule		
Ornamental Shrub Mix		
Qty	Name	Size
81	Chaenomeles speciosa 'Geisha Girl'	3L
81	Pieris japonica 'Purity'	3L
81	Potentilla fruticosa 'Abbotswood'	3L
81	Spiraea x cinerea 'Grefsheim'	3L
Native Hedge Mix		
Qty	Name	Size
109	Corylus avellana	60-80cm, 1+1 transplant, bare root
158	Crataegus monogyna	60-80cm, 1+1 transplant, bare root
30	Ilex aquifolium	3L
14	Rosa canina	60-80cm, 1+1 transplant, bare root
Portuguese Laurel Hedge		
Qty	Name	Size
176	Prunus lusitanica	3L
Trees		
Qty	Name	Size
1	Acer buergerianum	Selected Standard
1	Acer pensylvanicum	Selected Standard
1	Cercidiphyllum japonicum	Selected Standard
1	Cotoneaster 'Cornubia'	Selected Standard
2	Metasequoia glyptostroboides	300cm, C 30L
4	Robinia x slavini 'Hillieri'	Selected Standard
Beech hedge		
Qty	Name	Size
297	Fagus sylvatica	60-80cm, 1+1 transplant, bare root

notes:
- All dimensions to be checked and confirmed onsite prior to any works.
- Do not scale off this drawing.
- Any errors, omissions or discrepancies are to be brought to the attention of Lingard Styles immediately.

key:

- Retained Trees
- Proposed Trees
- Native Hedge
- Ornamental Shrub Mix
- Groundcover planting where required
- Turf / Seeded Lawn where required
- Block Paving
- Fence

Turf: Rowlan Medallion or similar approved
Seed: Germinal Seed Houses A19
All-Purpose Landscaping Mix sown at 50g/m2
Shade tolerant grass: Germinal Seed Houses A6(Supreme Shade) at 40g/m2

1.8m closeboard fence, timber posts in post spikes.

lingard styles

Landscape Architects, Urban Designers, Environmental Consultants

rev:	date:	description:
-	21/09/16	first issue
A	26/01/17	site layout updated, planning comments
B	03/02/17	NRW comments
C	10/05/17	Layout updated

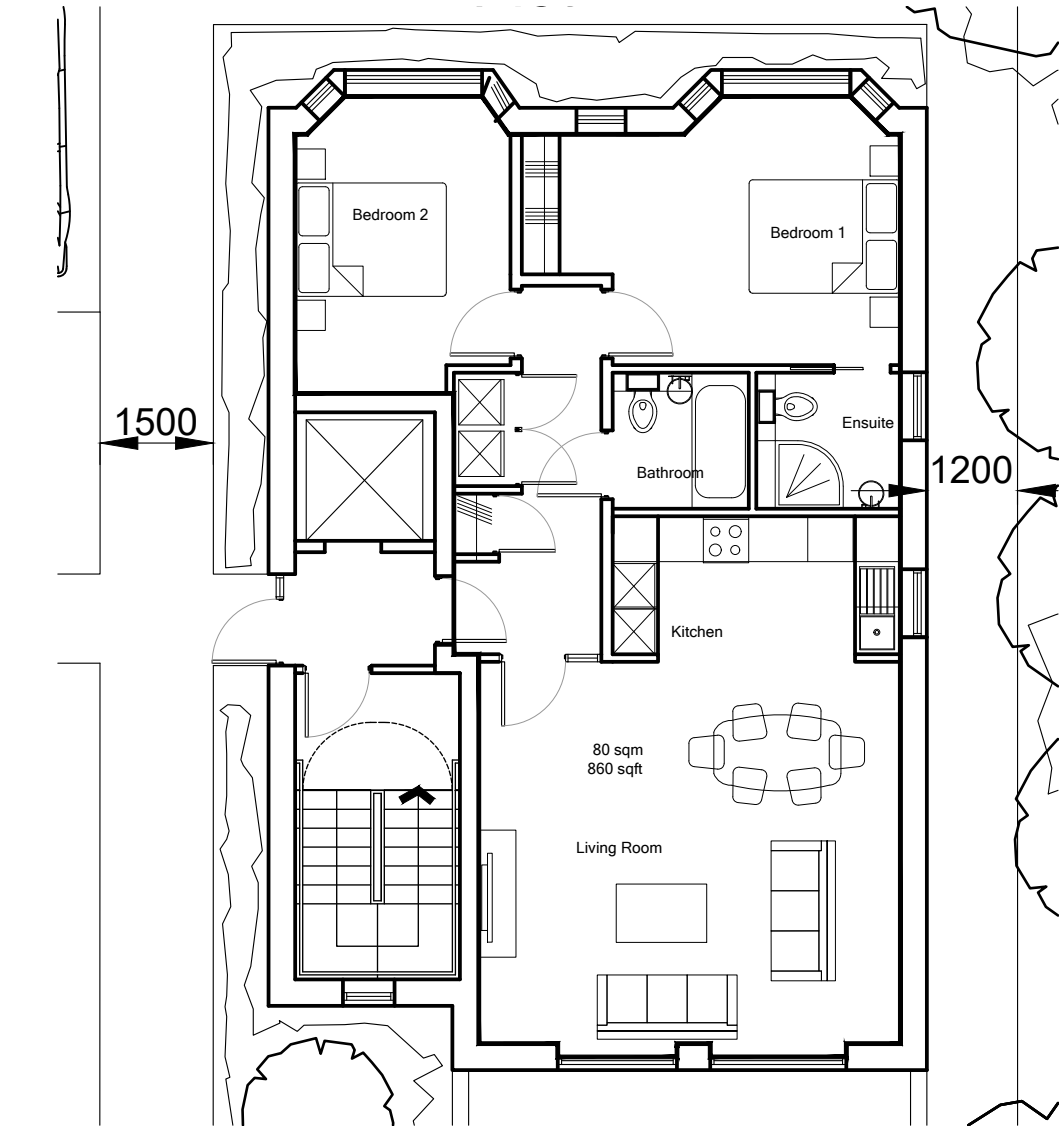
tel: 0333 4561132 fax: 01743 243602
email: info@lingardstyles.co.uk

9 College Hill, Shrewsbury Shropshire. SY1 1LZ
The Studio, Farm Lodge, Leighton, Welshpool, Powys. SY21 8HJ

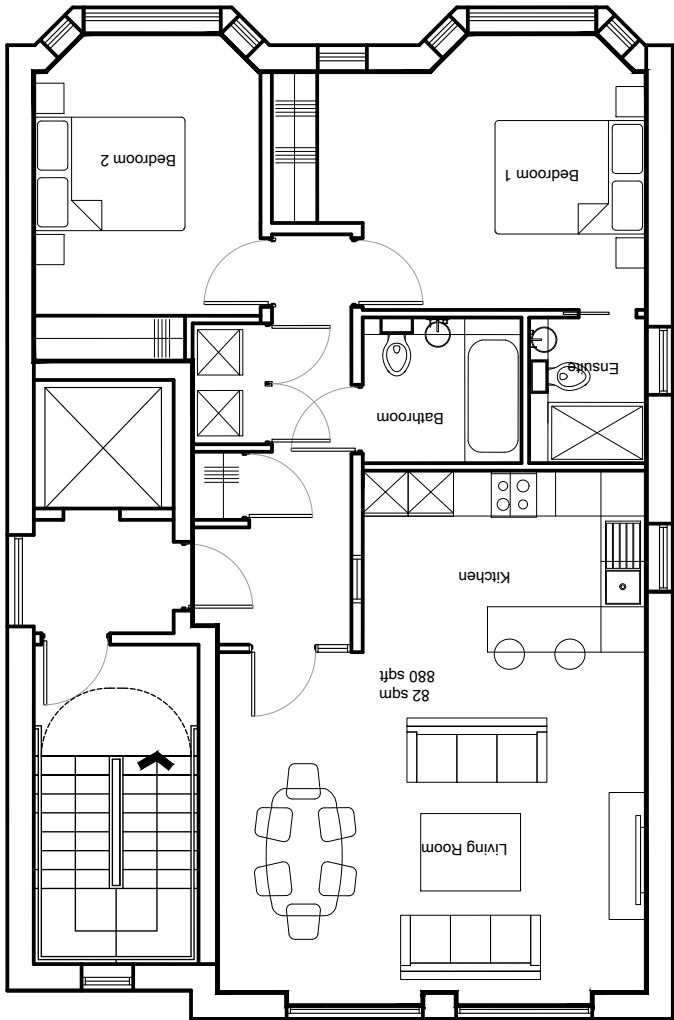
client / project:
Proposed Development
Lozelles Site, Lisvane
Cardiff

title:
Landscape Plan

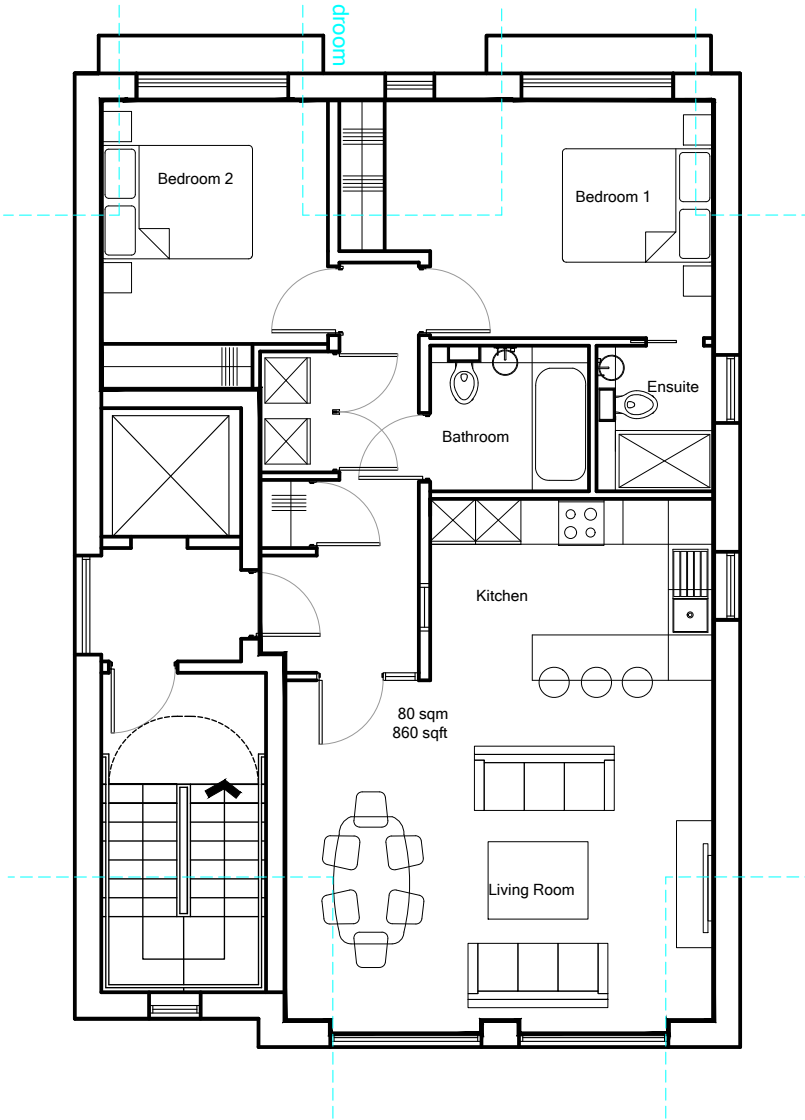
Date	Drawn	Check	Description	Rev.
14/02/16	***	***	Elevations and roofs adjusted to create building separation	A
26/04/16	***	***	New stand alone apartment created	B



Plot A - Ground Floor Plan



Plot A - 1st Floor Plan



Plot A - 2nd Floor Plan

Residential Development
Lozelles Site, Lisvane

Job No:
16_047
Rev:
AL(00)02 B

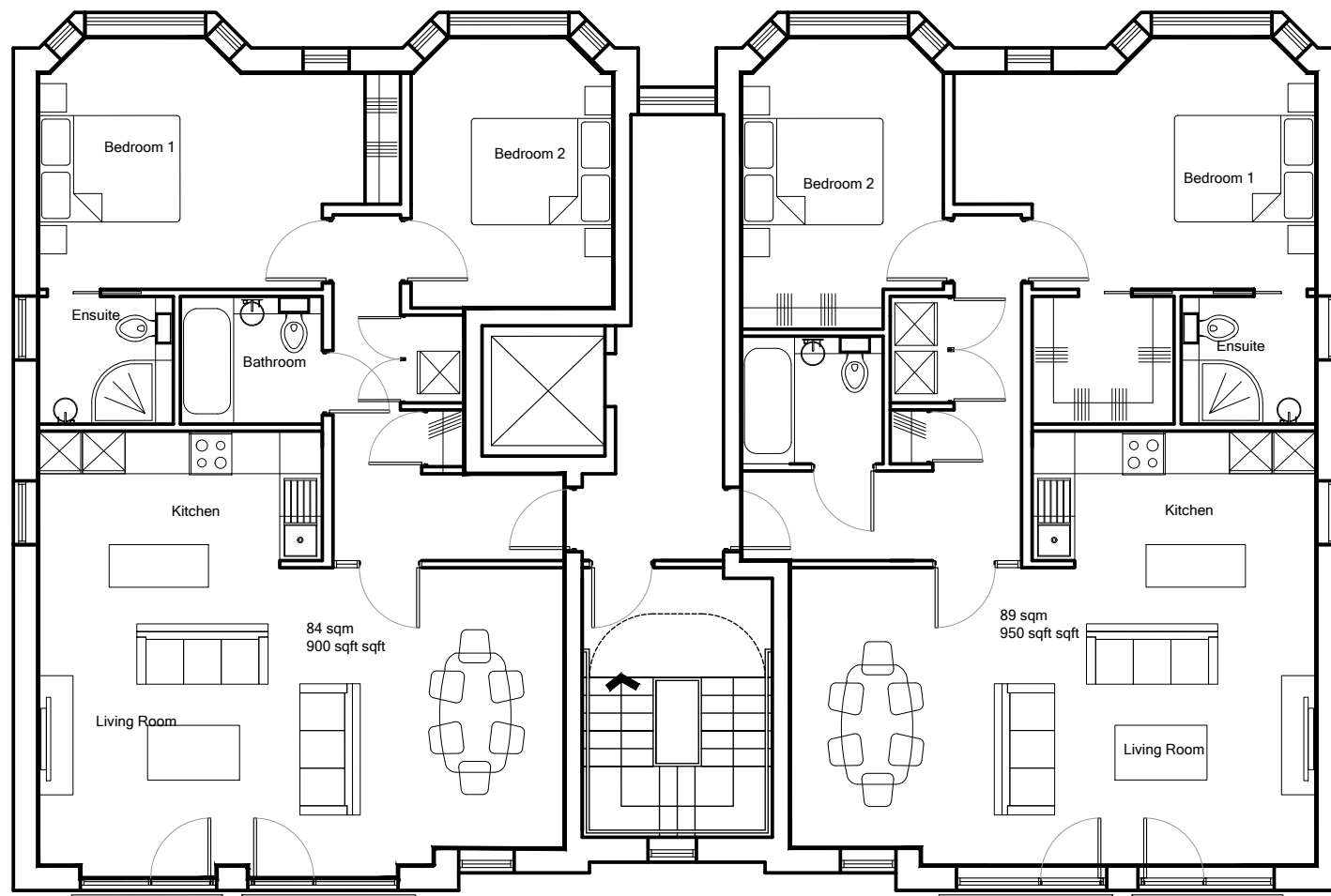
Title
Plot A Proposed Floor Plans

Date
BK

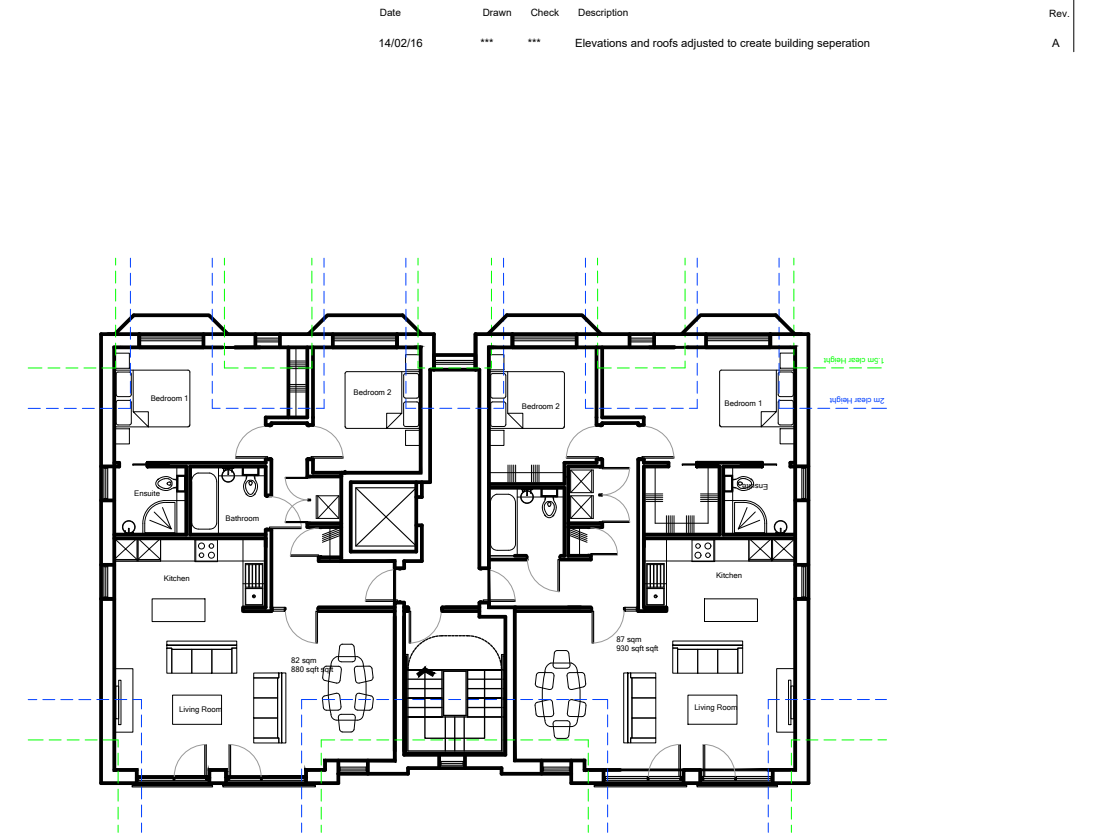
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Architects
Town planners
Environmental & Urban design

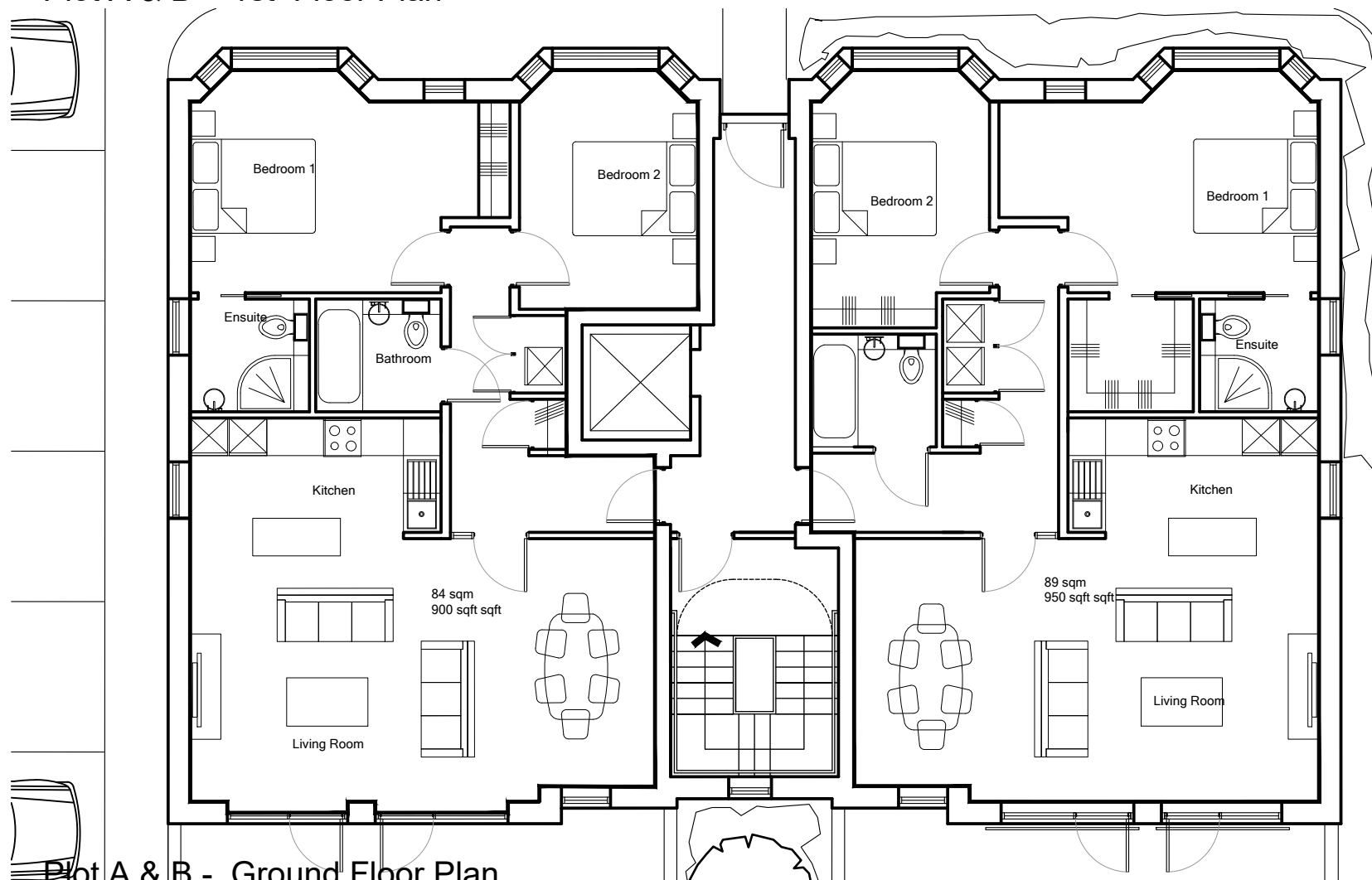
Unit 1A, Compass Business Park,
Pacific Road, Cardiff, CF24 9HL
www.cjarchitects.co.uk
tel: 035 20452195



Plot A & B - 1st Floor Plan



Plot A & B - 2nd Floor Plan



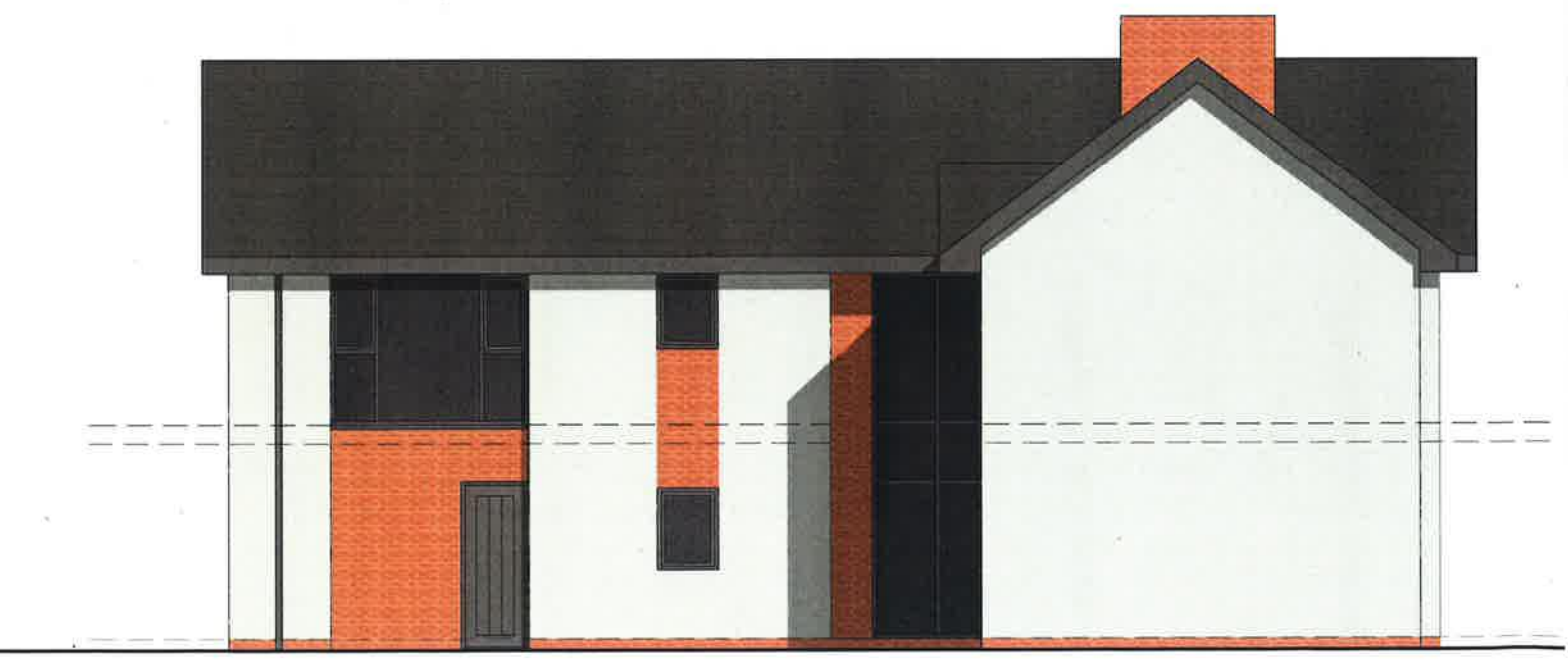
Plot A & B - Ground Floor Plan



Plot D - Front Elevation



Plot D - Side Elevation



Plot D - Rear Elevation



Plot D - Side Elevation

16/02752 MJK

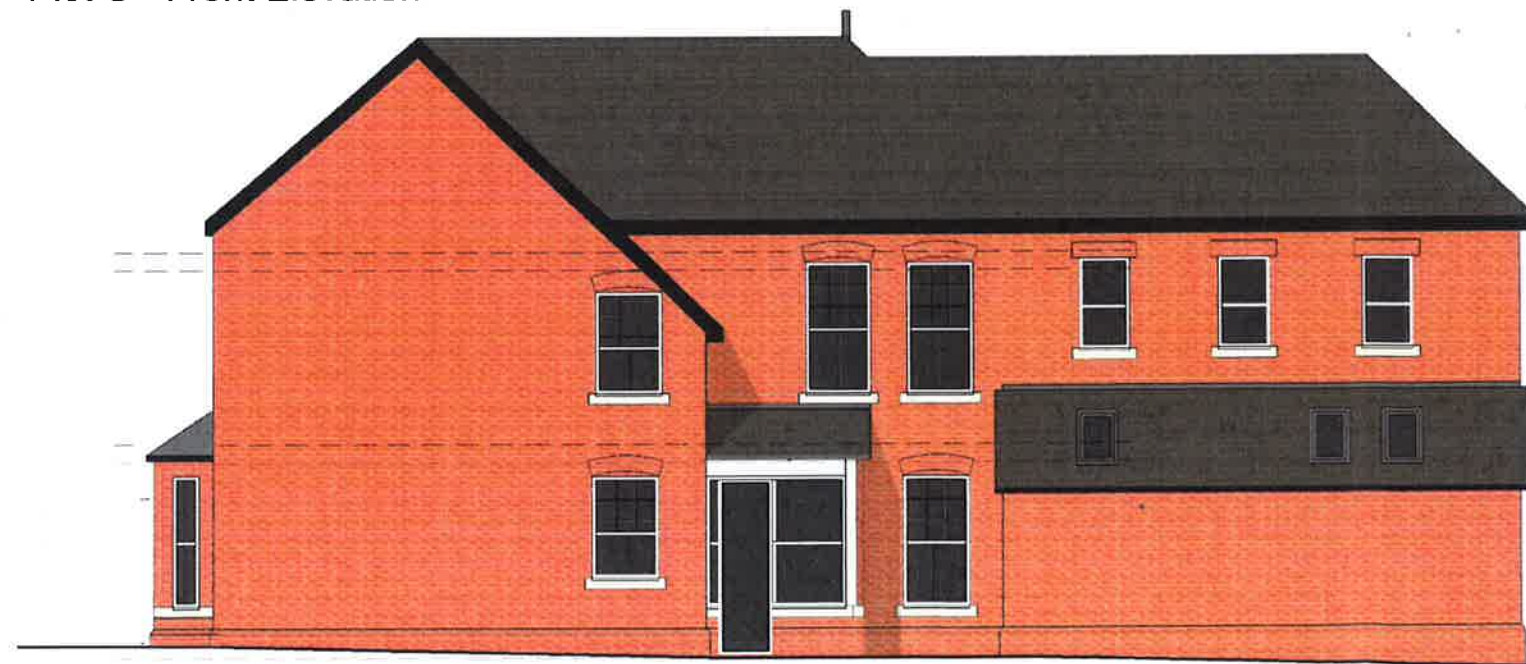
Residential Development Lozells Site, Lisvane		Job No. 16_047	Rev. AL(00)12
Title Plot D Proposed Elevations			
Date 16/01/16	Drawn BK	Scale 1:50 @A1, 1:100@A3	
 G2 Architects		Town planners Environmental & Urban design	
Unit 1A, Capenhurst Business Park Parsloes Road, Llanelli, CF23 5NS		www.g2architects.co.uk 01552 851118	



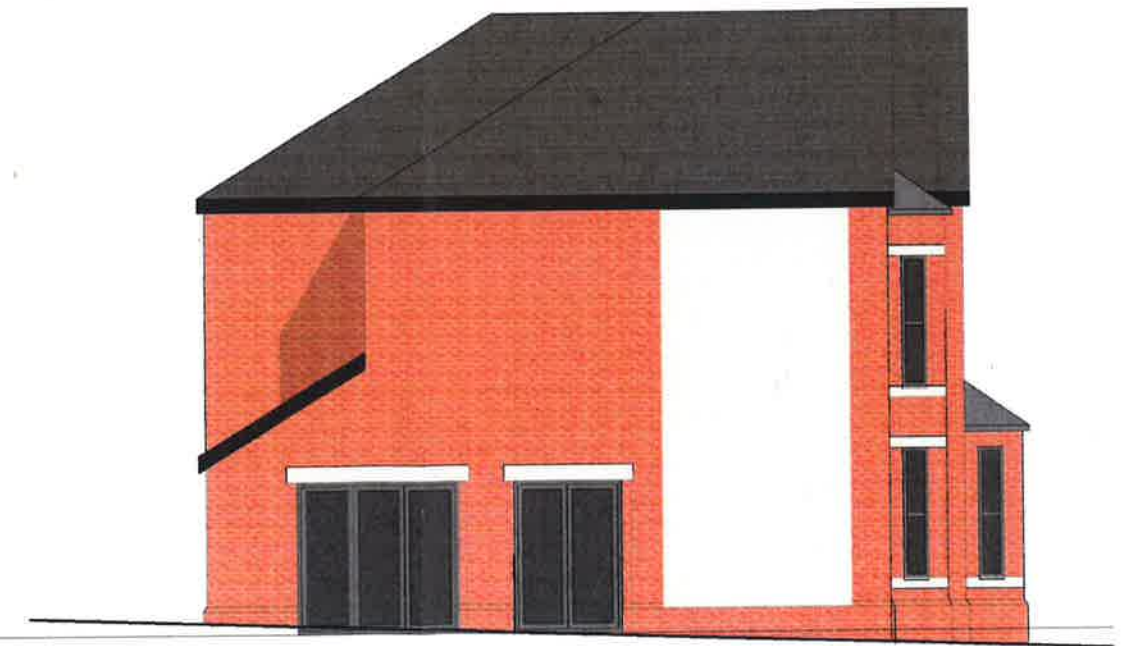
Plot C - Front Elevation



Plot C - Side Elevation



Plot C - Rear Elevation



Plot C - Side Elevation

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COMMITTEE DATE: 21/06/2017

APPLICATION No. **16/02916/MJR** APPLICATION DATE: 06/01/2017

ED: **BUTETOWN**

APP: TYPE: Full Planning Permission

APPLICANT: Cardiff Council

LOCATION: LAND TO THE SOUTH OF HAMADRYAD CENTRE,
HAMADRYAD ROAD, BUTETOWN, CARDIFF, CF10 5UY
PROPOSAL: CONSTRUCTION OF NEW 2 STOREY PRIMARY
SCHOOL BUILDING INCLUDING CHANGING ROOMS, WITH
SPRINKLER TANK AND PUMP HOUSE,
PARKING/SERVICING AREA, LANDSCAPING,
RECREATIONAL FACILITIES AND EXTERNAL LIGHTING

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the applicant submitting a unilateral **S106 AGREEMENT** comprising a contribution of £300,000 towards transportation improvements detailed in the Schedule produced by the Transportation Officer and the following conditions:

1. C01 Statutory Time Limit
2. This approval is in respect of the following plans, unless otherwise amended by any other condition attached to this consent:-
 - HAM_STL_XX_ZZ_DR_A_XXXX_00001 PL03
 - HAM_STL_XX_ZZ_DR_A_XXXX_00002 PL03
 - HAM_STL_XX_ZZ_DR_A_XXXX_00003 PL03
 - HAM_STL_XX_ZZ_DR_A_XXXX_01001 PL02
 - HAM_STL_XX_ZZ_DR_A_XXXX_01002 PL02
 - HAM_STL_XX_ZZ_DR_A_XXXX_01003 PL02
 - HAM_STL_XX_ZZ_DR_A_XXXX_02001 PL02
 - HAM_STL_XX_ZZ_DR_A_XXXX_03001 PL02
 - 60767B/GA/L/001X
 - HAM-ACM-E-00-ZZ-GA-(60)002 P1

Reason: For the avoidance of doubt.

3. Prior to development commencing on site details of top soil and subsoil specification, finalised tree pit section, planting methodology and aftercare methodology, including a finalised arboricultural method statement and tree protection plan for retained trees shall be submitted to and approved by the Local Planning Authority and then implemented as approved.

Reason: In the interests of visual amenities and biodiversity.

4. Prior to the school being brought into beneficial use appropriate gas protection measures to ensure the safe and inoffensive dispersal or management of gases and to prevent lateral migration of gases into or from land surrounding the application site shall be submitted to and approved in writing to the Local planning Authority. If no protection measures are required then no further actions will be required.

All required gas protection measures shall be installed and appropriately verified before occupation of any part of the development which has been permitted and the approved protection measures shall be retained and maintained until such time as the Local Planning Authority agrees in writing that the measures are no longer required.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development plan.

5. Prior to the commencement of the development a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures. The scheme shall ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

All work and submissions carried out for the purposes of this condition shall be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (2012), unless the Local Planning Authority agrees to any variation.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

6. The remediation scheme approved by condition 5 shall be fully undertaken in accordance with its terms prior to the occupation of any part of the development. The Local Planning Authority shall be given two weeks written notification of commencement of the remediation scheme works.

Within 6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out shall be submitted to and

approved in writing by the Local Planning Authority.

All work and submissions carried out for the purposes of this condition shall be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (2012), unless the Local Planning Authority agrees to any variation.

Reason : To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

7. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it shall be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment shall be undertaken and where remediation is necessary a remediation scheme and verification plan shall be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report shall be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the Local Planning Authority within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to neighbours and other offsite receptor in accordance with policy EN13 of the Cardiff Local Development Plan.

8. Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

9. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

10. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.
Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

11. No development on the exterior facades of the school building shall take place until samples of the external finishing materials have been submitted to and approved by the Local Planning Authority. The development shall be carried out in accordance with the approved samples.

Reason: To ensure that the finished appearance of the development is in keeping with the area.

12. Prior to the commencement of development a scheme of construction management shall be submitted to and approved by the Local Planning Authority, to include details of construction traffic routes, delivery times, site hoardings, site access, site compound, contractor parking, materials storage, measures for dust control and wheel washing facilities. Construction of the development shall be managed strictly in accordance with the scheme so approved.

Reason: In the interests of highway safety and public amenity.

13. Details of the position of security lighting to be erected within the school grounds and the timing control arrangements and the position of CCTV facilities and controls on their arc of coverage shall be submitted to and

agreed in writing by the Local Planning Authority prior to their installation.

Reason: To safeguard the amenities of adjoining occupiers.

14. The rating level for the proposed plant noise shall be 48db L_{AR,T}.
Reason: To safeguard the amenities of adjoining occupiers.
15. The sound insulation level of façade ventilation shall be at least 25dB (D_w).
Reason: To provide an environment conducive for learning by users of the school.
16. The school shall not be brought into beneficial use until details showing the provision of secure undercover cycle and scooter parking have been submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the development being put into beneficial use and thereafter maintained. Reason: To ensure that adequate provision is made for the secure parking of cycles and scooters.
Reason: To ensure that adequate provision is made for the secure parking of cycles.
17. E3D Retain Parking Within Site
18. C3F Details of Access Road Junction
19. No part of the development hereby permitted shall be occupied until a School Travel Plan has been submitted to and approved in writing by the Local Planning Authority. The Travel Plan shall set out proposals and targets, together with a timetable to limit or reduce the number of car based journeys to and from the school and to promote travel by sustainable modes. The Travel Plan shall set out proposals to implement and manage the Travel Plan through a designated Travel Plan Coordinator. The School Travel Plan shall be implemented in accordance with the timetable which shall be set out in the plan or in accordance with a revised timetable which shall be agreed in writing by the Local Planning Authority. Reports demonstrating progress in promoting the sustainable transport measures detailed in the School Travel Plan shall be submitted to the Local Planning Authority.
Reason: To encourage sustainable transport and effect modal shift to non-car modes.
20. No development shall take place until a written scheme of historic environment mitigation has been submitted to and approved by the local planning authority and shall then be implemented in accordance with the approved scheme.
Reason: To ensure for the adequate investigation and recording of archaeological remains, in order to mitigate the impacts of the works on the archaeological resource.

21. Notwithstanding drawing 60767B/GA/L/001X details of the means of enclosure along the southern site boundary shall be submitted to and approved by the Local Planning Authority prior to the development being brought into beneficial use.

Reason: In the interest of the appearance of the area.

22. No surface water and/or land drainage shall be allowed to connect directly or indirectly with the public combined sewer.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

RECOMMENDATION 2 : The applicant is advised to have due regard to the advisory notes provided by consultees.

RECOMMENDATION 3 : The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for (i) determining the extent and effects of such constraints; (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;

- Unprocessed / unsorted demolition wastes.

Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.

- Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and (iii) the safe development and secure occupancy of the site rests with the developer. Proposals for areas of possible land instability should take due account of the

physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 4 : Prior to the commencement of development, the developer shall notify the Local Planning Authority of the commencement of development , and shall display a site notice and plan on, or near the site, in accordance with the requirements of Article 12 of the Town & Country Planning (Development Management Procedure)(Wales)(Amendment) Order 2016.

RECOMMENDATION 5: To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition

and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

1. DESCRIPTION OF DEVELOPMENT

- 1.1 The proposal is for full planning permission for a Welsh medium primary school and nursery in a new two storey building measuring 65m x 22m (2545 sq m). Entrance to the nursery will be separate from entrance to the primary school. The school will be orientated along a generally east west axis.
- 1.2 The school will have a grey standing seam pitched roof (part covered in photovoltaic panels to generate 0.02 MW). Walls would be of buff brick to ground floor and upper floors in white render and grey curtain walling. The halls, kitchen and plant room would be finished in green and grey rainscreen cladding panels. Entrance to the nursery will be separate from entrance to the primary school. The school will be orientated along a generally north south axis and would be 60m from the nearest dwelling to the south.
- 1.3 There will be 2 reception classes, nursery and 2 classes on the ground floor and 8 classes above. In addition there would be various ancillary rooms including two halls on the ground floor.
- 1.4 To the sides of the school there will be a MUGA, forest school space and bitmac play area.
- 1.5 The school would accommodate 420 pupils and the nursery 48. There would be 20 teachers, 16 teaching assistants and 14 ancillary staff. The school would be open 08.55 -15.15.
- 1.6 There would be a single vehicular access would be from Hamadryad Road between the hospital and the hospital car park.
- 1.7 The proposed school car park would accommodate 25 car parking spaces, including 2 disabled spaces. Behind the hospital and to the east of the adjoining apartments' car park there would be a servicing area at the end of the staff car park. 40 covered cycle spaces are to be provided in two structures close to the northern and southern entrances to the primary school. A separate servicing area is to be provided. All these elements would be sited in front of the school, other than the second covered cycle structure.
- 1.8 Attached to the southern side of the school there would be changing rooms with internal and external access close to a pedestrian access to the school that provides direct access to the adjoining football pitches. The changing room would be finished in materials to match the hall. The changing room and that part of the school not used for classrooms will be accessible outside school

hours. Access to the MUGA would be controlled by gates within the school for school use and a gate in the boundary to enable community use.

- 1.9 18 new trees are to be planted within the site and next to the principal entrance.
- 1.10 The application has been accompanied by a Pre -Application Consultation Report, DAS, FCA, Ecological Impact Assessment, Noise Impact Assessment, Arboricultural Impact Assessment, Transport Assessment, Walking Audit, Waste Strategy Plan, Soil Resource Survey and Plan, Ground Conditions Report, Lighting Plan and accompanying plans.
- 1.11 The Head teacher and Chair of Governors have submitted a Sustainable Transport Policy. This includes Personalised Travel Plans, Safe Routes to School, Walking Buses, Promoting Scooting and Biking, Scooter and Bike maintenance Staff Travel measures, Staff Bike Purchase, Regular Transport Surveys, Travel Information to visitors and in the longer term investigating the use of the river for travel.

2. **DESCRIPTION OF SITE**

- 2.1 The site is approximately 0.8 ha in area. The site is level. Most of the site has been cleared but to the east and south some existing POS is included within the site. A small square of land (16 sq m) next to the existing hospital, fronting Hamadryad Road and 30m from the school grounds is included within the red line that defines the site.
- 2.2 Hamadryad Road is a cul de sac approximately 11m wide in front of the hospital and proposed school with on street parking. At the time of the morning site visit all on street and hospital parking spaces were occupied. The school is approximately 400m from Mermaid Quay car park and the St David's car park.
- 2.3 To the west of the site is a relatively new six and four storey block of apartments and beyond that is the River Taff. To the north is the Hamadryad hospital and its car park and beyond that residential development. (The school building will be 25m south of Hamadryad hospital). To the east is a playground. To the south are sports pitches.
- 2.4 There are 2 poor quality TPO trees on the site that will have to be removed to facilitate the development.

3. **PLANNING HISTORY (since 1997)**

1412077 75 affordable dwellings (approximately two thirds within the current application site) - approved 12/09/14

15/956 55 affordable units adjoining the western boundary of the current application site - approved 22/04/15

4. **POLICY**

4.1 The following LDP policies are considered relevant.

KP5 Good Quality and Sustainable Design

KP8 Sustainable Transport

KP12 Waste

KP13 Responding to Evidenced Social Needs

KP14 Healthy Living

KP15 Climate Change

KP16 Green Infrastructure

EN4 River Corridors

EN6 Ecological Networks and features of Importance for Biodiversity

EN7 Priority Habitats and Species

EN8 Trees, Woodlands and Hedgerows

EN13 Air, Noise, Light Pollution and Land Contamination

C1 Community Facilities

C3 Community Safety/ Creating Safe Environments

C4 Protection of Open Space

C6 Health

C7 Planning for Schools

T1 Walking and Cycling

T5 Managing Traffic Impacts

TB Strategic Recreational Routes

W2 Provision for Waste Management Facilities in Development

5. **INTERNAL CONSULTATIONS**

5.1 The Tree Officer has no objections to the amended landscaping scheme, but full specifications will be required in due course - i.e. topsoil and subsoil specification, finalised tree pit section, planting methodology and aftercare methodology. With regard to retained trees, a finalised Arboricultural Method Statement and Tree Protection Plan will be required.

5.2 Shared Regulatory Services states inter alia :-

Ground Gases

The consultant identifies a risk from ground gas which affirms in-house records. Ground gas measures will be required at the development although the specifics cannot be confirmed without submission of the complete report.

Contamination

The consultant has undertaken a contamination assessment of the development. The information submitted refers predominantly to an assessment based on commercial end use:

Section 5.1 refers to assessment of soils for commercial end use, reflected in data provided in Table 5.1,5.2.

Chemical analysis of the soil samples highlighted no exceedances when compared to commercial guidelines. However it is apparent that an assessment of the risks to children has been considered in Section 7 (7.3.3), which references both commercial end use and remediation (capping) with respect to areas where children are in direct contact with the soil. Whilst the latter is considered appropriate, no assessment has been referred to, or included in relation to risks/threshold exceedances for these end users. This assessment needs to be submitted.

The conditions recommended below in relation to ground gas and contamination are based on the information submitted and could be reviewed if those issues highlighted can be remedied.

With regards to imported materials, the proposed development and information submitted as part of Soil Resource Survey Plan (TACP 23111116) identifies the need for imported soils.

The application also indicates the intention to re-use site won soils for landscaping. The standard conditions for imported and site won materials are therefore required.

Shared Regulatory Services requests the inclusion of conditions and informative statement in accordance with CIEH best practice and to ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

(The Sections and Tables referred to above are included in a Geotechnical and Geo Environmental Report submitted by the applicant).

(The conditions recommended, 4 to 10, are included in Recommendation 1).

- 5.3 Noise and Air Team are content with the findings of the acoustic report and propose two conditions.

(The conditions recommended, 14 and 15, are included in Recommendation 1).

- 5.4 The Drainage Officer has no observations to offer on this application from a drainage viewpoint, other than that consideration should be given to using a vegetation strip as an alternative to a Class 1 interceptor, for treating the highway drainage.

- 5.5 The Waste Management Officer states:
The proposed waste storage area for the school has been noted and is

acceptable. Special consideration should be given to separating waste at source into the following waste streams (as a minimum): general waste, mixed recycling and food waste.

The proposed waste storage area for the NHS building has been noted. This store must be screened from the highway, with adequate security features in order to prevent fly-tipping and mixing with domestic waste from surrounding dwellings.

5.6 Air and Pollution Officer states:

I can confirm that I am satisfied and in agreement with the content of the submitted documentation and therefore have no objections on the grounds of Air Quality to the proposed development.

I am satisfied that the Construction Management Plan would encompass the control of dust emissions during the construction phase of the proposal. I will look to review the CMP once received.

- 5.7 a) The Parks Officer says that there are a number of issues still under discussion with Schools. These include the type of service level agreement needed to make the proposed MUGA workable for both the school and public use. They will also need to review the changing room provision and access. One point we picked up was the proposed fence along the boundary of the school, adjacent to the footpath, is shown as 2.4m close-board timber. Behind this is a hedge. Parks believe that it would be preferable to have an open vertical bar or green weldmesh type fence as has been used elsewhere on school sites, allowing views into the school from the park and vice versa. A close-board fence and hedge will entirely screen the park, leading to increased risk of anti-social behaviour and feel quite imposing when located directly adjacent to the path. The timber fence will also be prone to vandalism and graffiti.

With regard to trees a number of trees within the park are being lost. Compensatory tree planting will be required, with schools providing funding for this to be carried out in the park.

b) The Parks Officer further states inter alia that :

“On a practical level, the right angle return at the western end of the southern boundary creates a potential blind spot for pedestrians moving west along the path and could compromise safety. Could the right angle return be angled so as to improve ‘forward visibility’ for users of the path.

It is proposed that the changing rooms be located in the western wing of the building off the main hall be sized and configured to allow their use by adults and hence enhance use of the outside football pitches on Hamadryad Park. In this context, the changing rooms fall below local senior league standards as indicated below in the following respects:

- Adequate toilet facilities exclusively for the use of players, separate toilet facilities should be provided for each team. There shall be a minimum of

1 W/C and 1 urinal, with hot and cold running water for the use of the teams within the vicinity of each dressing room complex. Please note existing plan does not include a urinal.

- Separate dressing rooms must be provided for match officials, the minimum size of which shall be 4 square metres excluding shower and toilet areas. Please note existing plan shows 3 square metres
- The match official's dressing room should have at least 1 working showerhead (ideally en-suite). Please note the existing plan does not include a shower for official.

I would be grateful if consideration is given to addressing these shortfalls. In addition, I would request that the following items be addressed as far as practically possible within the design of the changing rooms:

- All clubs must have first aid equipment, which must include a stretcher. The location of first aid equipment must be clearly marked in all dressing rooms. It is desirable that clubs provide a designated area for first aid.
- I note that rear double doors could allow access to the main hall and other areas of the school. I would suggest that these cannot be opened from inside the changing room and should have a secure (heavy duty & lockable) door.
- Thought should be given to fitting a separate alarm system isolating the changing room security from the main school facility as the majority of local usage /fixtures will be after school and weekends.
- Please note that a popular operational problem is the steam /condensation activating any smoke detectors in close proximity to shower area / changing rooms.
- In a perfect world, a store cupboard for items such as nets & corner flags would be useful, however, more importantly an area to store cleaning chemicals & associated equipment.
- A low level tap / hose pipe connection for washing down & cleaning floor areas (hopefully tiled and on a slight slope to drain water away)

Bottom of doors within changing rooms to have been cut / raised off floor to stop water / wet conditions, rotting the bottom of said doors."

5.8 The Transportation Officer says

I would confirm that the above application submission has been assessed and is considered to be acceptable in principle subject to the comments, conditions and financial requirements detailed below.

Parents will not be permitted to drop-off or park in the school grounds and the school will positively encourage and promote journeys by non-car means, actively discouraging on-street parking in the vicinity of the school. A condition is sought for the submission of a School Travel Plan, which will include proposals and targets to limit vehicle access to the school for both staff and parents; and the promotion of sustainable journeys, including review mechanisms to revisit the proposals/targets as may be required.

Pedestrian/scooter access would be taken from Hamadryad Road via a pedestrian access path and gate to the west of the vehicle access. A proposed continuous footpath is shown to the door of the school, crossing the vehicle route within the site via a raised pedestrian crossing. Pedestrian/cycle/scooter accesses would also be available from the south and east via Hamadryad Park to the south of the proposed building.

The submitted Transport Assessment suggests that the majority of houses in the anticipated catchment are within 2km of the proposed school and confirms that IHT guidance indicates that the acceptable walking distance to a school is 1km, with a preferred maximum walking distance of 2km. The assessment therefore suggests that the school will be within a reasonable walking distance for pupils and parents within the catchment. Along with pupils/parents, staff will be encouraged to travel sustainably via the Travel Plan.

The main walking routes to the school would be via the local highway network and make use of existing footways and crossings where they are available. The Council has undertaken a Walking Audit of the main pedestrian routes to/from the school/catchment, and nearby areas where parking is available to parents or could be used as a meeting point for 'Park & Walk' type initiatives.

To assist the school in the promotion and maintenance of sustainable travel behaviour, and remove barriers to sustainable travel choices, a schedule of works/improvements to local pedestrian routes have been identified as part of the Walking Audit.

The above improvements are listed and the locations shown on the accompanying schedule and plan; the works include pedestrian crossing provision, junction narrowing and improvement of existing walking infrastructure, to improve the safety, attractiveness and commodiousness of walking as a primary means of access to the school.

Further, more localised to the site, improvements are also sought in the form of a school safety zone on Hamadryad Road, improved residential parking and extended parking controls, speed limit reductions and calming/gating vehicle access. Detailed scheme proposals for Hamadryad Road, Pomeroy Street and the surrounding streets will be discussed/evolved in consultation with local residents, with the aim of improving residential amenity, providing resident parking improvements and dissuading parents from dropping off/collecting children by car.

The wider proposed crossing improvements to the north of Clarence Road Bridge include the provision of a Parallel Cycle Crossing at the location of the existing Zebra crossing, to positively connect the Taff Trail and Bay Trail either side of Clarence Road in this location.

The aim of the identified route and crossing improvements is to remove obstacles to walking, scooting and cycling becoming the primary, default, means of access to the school for children and parents, by providing safe, walkable routes from the identified catchment area. The improvements also

relate to locations and routes to/from areas that could be utilised for Walking Bus/Park Safe, Walk Safe initiatives; such as the Chanel View Leisure Centre and Havannah Street Car Park.

The attached schedule (Annex 1)/plan of network improvements and Travel Plan requirements have been discussed in very positive terms with Schools Services, the Headmistress and Chair of Governors. Agreement has been reached that Schools Services will meet the costs of the physical works up to the identified contribution of £300,000; and the Head and Chair of Governors have responded extremely positively in terms of Travel Planning and the promotion of sustainable transport as a primary means of access for both pupils and staff.

Conditions are sought to secure the revised access/car park junction on Hamadryad Road, cycle and scooter parking, staff car parking, construction management and a school Travel Plan required as a consequence of the development.

It is considered that the proposed school will provide a much needed local facility and will, as a consequence of the commitment to the provision of funding, result in overall benefits to residents in terms of parking controls and speed limit reduction in the Hamadryad area; along with wider community improvements to walking and cycling, in support of the aims of Council policy and sustainability.

It is concluded that the proposed development is acceptable in transport terms, subject to the listed conditions and financial contribution, and that any objection on traffic or parking grounds would therefore be unsustainable.

Conditions:

Standard condition E3D Retain Parking Within Site;

Standard condition C3F Details of Access Road Junction;

Cycle and Scooter Parking condition – No development shall take place until details showing the provision of secure undercover cycle and scooter parking have been submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the development being put into beneficial use and thereafter maintained. Reason: To ensure that adequate provision is made for the secure parking of cycles and scooters.

Construction Management Plan – No part of the development hereby permitted shall be commenced until a scheme of construction management has been submitted to and approved by the Local Planning Authority, to include as required details of site/compound, hoardings and site access/egress. Construction of the development shall be managed strictly in accordance with the scheme so approved. Reason: In the interests of highway safety and public amenity.

School Travel Plan – No part of the development hereby permitted shall be occupied until a School Travel Plan has been submitted to and approved in writing by the Local Planning Authority. The Travel Plan shall set out proposals and targets, together with a timetable to limit or reduce the number of car based journeys to and from the school and to promote travel by sustainable modes. The Travel Plan shall set out proposals to implement and manage the Travel Plan through a designated Travel Plan Coordinator. The School Travel Plan shall be implemented in accordance with the timetable which shall be set out in the plan or in accordance with a revised timetable which shall be agreed in writing by the Local Planning Authority. Reports demonstrating progress in promoting the sustainable transport measures detailed in the School Travel Plan shall be submitted to the Local Planning Authority. Reason: To encourage sustainable transport and effect modal shift to non-car modes.

Financial Contribution:

As identified on the attached schedule and plan, a financial contribution of £300,000 is sought/agreed in respect of works to provide improvements required as a consequence of the proposed development.

6. **EXTERNAL CONSULTATIONS**

- 6.1 Dwr Cymru Welsh Water has no objection to the school conveying flows through the system and utilising the outfall. The applicants are advised that further S104/S106 agreements will be needed
- 6.2 Wales and West Utilities has provided a plan showing their apparatus which is outside the application site.
- 6.3 NRW confirmed that the risk to controlled waters is low and the foundation risk assessment addresses their concerns regarding piling. No objections were made subject to conditions.
- 6.4 South Wales Police state: No objection to proposed development, have been engaged in pre -application consultation and are satisfied that crime prevention and community safety issues will be addressed as per design and access statement.
- 6.5 GGAT has no objection subject to a condition as potential historic features on this site may be adversely affected.
- 6.6 Cadw advises that the proposal will not adversely impact on the setting of the wreck of the "Louisa" a scheduled monument.

7. **REPRESENTATIONS**

- 7.1 This application has been advertised on site and in the press, and adjoining occupiers have been notified. Local Members have also been notified.
- 7.2 A resident of Pomeroy Street objects on the grounds that it will cause more

misery for the residents from over development of an already crowded area. Support is needed for residents on all access and parking issues.

- 7.3 A resident of Carlotta Way welcomes the school but objects as children will be coming from 2km away and beyond. Even with car sharing, organised drop off and walking buses the impact on congestion, parking and safety will be unacceptable.
- 7.4 The applicant confirms that a site notice was erected and notification letters sent to owner/occupiers in Hamadryad Court, Hamadryad centre, Clarence Mews, Clarence Embankment, Clarence Court, Pomeroy Street, Hunter Street, Burt Street and Clarence Place advising them of the Pre-Application Consultation process. The Pre-Application Consultation report says that a review of the website data indicates that 63 unique users accessed the data. Two responses were received from local residents raising concerns in respect of:-
- Damage from piling and problems of construction traffic using a single access road.
 - Increased parking and traffic problems in an already congested area.
 - The access road is narrow, can only accommodate one car width with few places for cars to pull in and pass.
 - Previous S106 money from a CCHA scheme not spent on improving road structure and parking.

8. **ANALYSIS**

- 8.1 The provision of a new primary school including a nursery to serve the Butetown and Grangetown area is welcome and in line with LDP policies.
- 8.2 The school building will be of a standardised design proposed for use on three sites across the city (the Howardian and Lewis Road school sites have already been granted planning permission). The only real difference between the buildings would be the colour of the finishing materials proposed but also in this case the addition of changing areas with internal and external access. While it is disappointing that a bespoke design tailored specifically to the site is not proposed, it is acknowledged that the standardised approach has been agreed.
- 8.3 The key issues for consideration within this planning application are considered to be the policy position, accessibility of the building, the means of enclosure for the development and the finishing materials proposed.
- 8.4 The application site falls within the settlement boundary as defined by the LDP Proposals Map and part of the site (32% or 0.25 ha) is identified as open space in the most recent open space survey. In view of this Policy C4 of the adopted Local Development Plan (LDP) and approved Supplementary Planning Guidance (SPG) on Open Space (March 2008) are relevant. Although it is

noted that the Open Space SPG was approved in connection with the now superseded City of Cardiff Local Plan, pending approval of new SPG it is considered material to the development management process as it is consistent with the new policy framework set out in the adopted LDP.

- 8.5 Policy C4 seeks to protect open space that has significant functional (including land that can accommodate formal/or informal recreational uses), conservation, environmental or amenity value through only allowing proposals where:
- They would not cause or exacerbate a deficiency of open space in accordance with the most recent open space study; and
 - The open space has no significant functional or amenity value; and
 - The open space is of no significant quality; or
 - The developers make satisfactory compensatory provision; and in all cases
 - The open space has no significant nature or historic conservation importance.
- 8.6 This policy reflects national planning policy relating to open space set out in Planning Policy Wales and Technical Advice Note 16 relating to Sport, Recreation and Open Space (January 2009).
- 8.7 The most recent survey of open space classifies part of the site as a mixture of amenity (0.15 ha), informal recreational open space (0.09 ha) and formal recreational open space (0.01 ha). Therefore, in order to accord fully with Policy C4 the application needs to be assessed against the following issues:
- The level of existing provision of recreational open space assessed against the standard and the acceptability of compensatory facilities.
 - The quality of the open space
 - The functional and amenity value of the open space
 - The nature or historic conservation value of the open space
- 8.8 In terms of existing provision of recreational open space the Open Space SPG (Page 25) sets out the amount of recreational open space relative to the standard for each ward within the city. This shows that the Butetown ward overall has a surplus of 2.25 hectares of recreational open space (based on the 2.43 ha per 1,000 population standard) and therefore the loss of 0.10 hectares of recreational open space would not exacerbate a local and city wide deficiency of recreational open space.
- 8.9 Notwithstanding this, it is noted that the applicant states that in order to compensate for the loss of this poor quality recreational open space, new replacement grass and tarmac recreational facilities will be provided on the new school site, including a Multi-Use Games Area, community room and changing facilities. These qualitative gains will provide better quality facilities of more value to the local community and outweigh the proposed quantitative loss of recreational open space.
- 8.10 In terms assessing functional and amenity value the SPG states:
- 3.7 Some open spaces have particular value to the amenity of an area.

These areas include woodlands, allotments, ornamental gardens, cemeteries, water bodies and golf facilities. The characteristics of this open space will vary considerably and their particular amenity value may be based on different factors. The basis of assessing the amenity value of an area, whether recreational or amenity open space, will relate to:

- 3.8 Visual Amenity - For a site to possess visual amenity value, it must be located where the general public can gain significant "visual access". It must contribute to the visual character and environmental quality of the surrounding area. There will be an objection to proposals which would adversely affect the appearance of open spaces which significantly contribute to the visual appearance of an area.
 - 3.9 Leisure Amenity - Areas of woodland, allotments, ornamental gardens and public rights of way, by definition are not considered suitable for active sports ' and recreation. However, such amenity open spaces can provide an important informal open space resource for local people and accommodate passive activities such as walking, dog exercise and nature studies. The importance of such areas is heightened if there are limited alternative areas of recreational and amenity open space in the locality or if the areas make a contribution to the city-wide provision of open space. Proposals which would cause unacceptable harm to areas of leisure amenity value will be opposed.
-
- 8.11 In relation to the impact on visual amenity it is noted that much of the existing amenity open space will remain undeveloped and will be incorporated in the landscaping scheme for the site. This should ensure there is no unacceptable impact on visual amenity. In terms of impact on Leisure amenity it is noted the site forms part of a much larger area of open space and this larger area will continue to be available as an informal resource for local people for activities such as walking and dog exercise.
 - 8.12 The issues identified by the Parks Officer relate primarily to management and internal accommodation matters that should be addressed between the Education and Parks Departments. A modest rearrangement within the changing room area could address the Parks Officer's concerns and the submitted plan shows a showerhead for the official. It should be noted that one of the changing rooms is identified for female use clearly indicating that the changing rooms are not solely for all male use. The means of enclosure is covered by proposed condition 21.
 - 8.13 The site lies within the River Corridor (Policy EN4) identified on the LDP Proposals Map and is passed by a strategic recreation route (Policy T8). Policy EN4 states that the natural heritage, character and other key features of Cardiff's river corridors will be protected, promoted and enhanced, together with facilitating sustainable access and recreation. The proposal is not considered to negatively impact either the river corridor or the strategic recreation route.
 - 8.14 Assessed against the aforementioned policy framework the proposal does not

raise any land use planning policy concerns.

- 8.15 The location of the site for a school towards the southern edge of the catchment area is not ideal from a Placemaking perspective given the limited population density immediately adjoining the site. However, the immediate availability of an alternative suitable site in the centre of the catchment area is likely to have been a significant factor in site selection. Nevertheless pupil drop off and pick up times may generate significant traffic generation in the locality if there were not to be an emphasis on walking/cycling to school. This issue has been identified by local residents. It is critical to the successful use of the school and the impact on nearby residents that this issue be satisfactorily managed.
- 8.16 The Transportation Assessment submitted by Peter Evans recognises that there is no spare car parking capacity in the immediate vicinity of the site. The TA identified 40-50 unoccupied spaces within a 10 minute walk at the start and end of the day. There are public car parks at Havannah Street and Mermaids Quay just beyond 400m from the site.
- 8.17 The TA says that the majority of houses in the catchment are within 2km of the school and most with 1Km. The Institute of Transportation and Highways guidance states that the acceptable walking distance to a school is 1Km and the preferred maximum walking distance is 2Km.
- 8.18 The TA concludes that:-
- The proposal is consistent with national, regional and local planning policies.
 - Journeys by non-car means would be encouraged and journeys by car can be accommodated without adversely affecting road safety.
 - The anticipated catchment area will enable a high proportion of journeys to be made on foot with on-site scooter/cycling parking provided.
 - On-site parking is consistent with policy.
 - The school would discourage parents from parking on local roads.
 - Service and emergency vehicles would be able to manoeuvre into and from the site.
 - The school would not adversely affect the performance of any local junction.
- 8.19 A Walking Audit by Transportation was submitted that considered six routes from Windsor Esplanade, Dumballs Road, Schooner Way, Jim Driscoll Way, Ferry Court via Ferry Road and from Clare Road. The general conclusions are that the walking routes to and from the proposed school are reasonable. Busy roads can be safely crossed using controlled pedestrian crossing facilities. There are recommended minor improvements to side roads but pedestrians can cross these roads if done so with care. The following recommendations are made:-
- Creation of 20mph area
 - Install zebra belisha beacons at Stuart Street zebra crossing
 - Controlled crossing facility on Schooner Way
 - Junction build outs at Jim Driscoll Way and Kent Street

- Junction build outs at Avondale Gardens, Cornish Close and Horle Close
- Improved crossing facility on the Dumballs arm of the Dumballs Road / James St junction
- Dropped kerbs and highway maintenance at several locations

8.20 The applicant says that all construction deliveries will be managed to suit local traffic conditions to ensure they do not clash with peak times and where possible deliveries do not occur at the same time.

8.21 The Transportation Officer has no objection subject to the provision of a school safety zone in front of the school, introduction of a 20 mph speed limit covering the road leading to the school and surrounding streets, creation of 75% resident parking on the surrounding streets along with removal of build outs in those streets, and improved crossing arrangements at several positions leading to the school. Such works will improve the safety of children walking to school, deter parents seeking to access and park in streets adjoining the school and improve residents parking arrangements.

8.22 It is pleasing to note the Head teacher and Chair of Governors commitment to a Sustainable Transport Policy.

8.23 Pedestrian routes within the site are generally clear and direct which is welcomed. The provision of a direct pedestrian link between Hamadryad Road and the main entrance of the school building which is separate from the vehicular access is particularly welcomed. Pedestrian access to the school will be from Hamadryad Road and from the Park. The applicant says that the majority of parent waiting at the end of the day will be at the pedestrian gate from the Park where there will be sufficient space on an enlarged footway for parents to wait.

8.24 The developer was approached to ascertain whether it was possible to provide a waiting area for parents at the main entrance by repositioning car parking spaces. The applicant responded that:-

“Repositioning two car parking spaces as suggested within the service yard would unfortunately conflict with the turning area for service vehicles (please see below). The loss of the car parking spaces is something that we would want to avoid.

Other suggestions have been discussed internally but the constrained nature of the site and the need to provide sufficient external play space is such that the provision of a dedicated waiting area for parents is not possible.

The choice of entrance management will ultimately be a matter for the school to decide what works best and adjust accordingly – a situation where all parents except nursery children are required to collect pupils from the park side entrance could be a possibility to reduce pressure on the front entrance.

I'm not aware of many schools that have a dedicated waiting area for parents such as what was possible at Howardian due to the size of the site. Indeed,

looking at schools in the area (Mount Stuart Primary, Grangetown Primary, St Pauls CinW, St Mary The Virgin CinW etc) , no dedicated parent waiting areas appear to be in place.

The use of the park or pavement is considered to be sufficiently safe to allow parents to gather before the school gates are opened at an agreed time. Existing seating areas are included in the adjacent park.”

- 8.25 The break out space/play space associated with each classroom has been factored into the overall design of the building and should therefore meet specific requirements. The remaining external space would be hard landscaped.
- 8.26 The brick element of the proposed building should match or complement those found in the local area / on neighbouring buildings. The areas of cladding proposed on the building should be high quality, thereby adding a richness to the scheme, while being robust and durable (proposed condition 11).
- 8.27 NRW suggested two conditions in respect of contamination/pollution control which are included within proposed condition 5. NRW suggested a condition in respect of SUDS. The applicant responded that the ground was considered unsuitable for infiltration; however, the Drainage Strategy identifies that SUDS techniques in the form of permeable drainage blankets are to be implemented which will replicate the post development run off. NRW was advised of this on the 7/12/16 and no adverse response has been received.
- 8.28 A 2.4m high close boarded fence is proposed around the boundaries of the site close to the edge of the pavement running through the park. While it is understood that a robust means of enclosure is important given the use of the site, it is considered that a less defensive approach could be taken. Alternative fencing material or the addition of a small area of landscaping in front of a fence would be welcomed in order to soften the aesthetic of the scheme. A more transparent means of enclosure might also be considered rather than a timber fence in order to reduce the feeling of enclosure and the concern identified by the Parks Officer. Proposed condition 21 is recommended to address this.
- 8.29 The site will need to be piled. The nearest residential property will be some 40m away and the applicant states that damage is unlikely. The applicant says that dilapidation surveys can be carried out for neighbouring properties if necessary. Regulatory Services has raised no objection to piling in this location.
- 8.30 Well-Being of Future Generations Act 2016 - Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

- 8.31 The proposal is considered to be acceptable in planning terms subject to conditions and complies with the policies of the LDP. The proposal will provide a modern school and nursery with sufficient external play and sports facilities to serve the pupils, whilst safeguarding amenities of neighbours and to which the Transportation Officer has raised no highway objections subject to the improvements identified. The proposal by including changing rooms will improve the community use of the adjoining football pitches.

ANNEX 1

Schedule Hamadryad School Application, offsite works schedule.

Pedestrian crossing improvements:

A. Crossing improvement existing -	£ 5,000
B. New table crossing, kerb realignment, FW widening -	£25,000
C. Upgrade to parallel cycle zebra crossing -	£15,000
D. New table crossing, 2 traffic lanes -	£30,000
E. Junction buildout -	£10,000
F. Junction buildout -	£10,000
G. Junction buildout -	£10,000
H. Junction buildout -	£15,000
I. Junction buildout and crossing -	£20,000

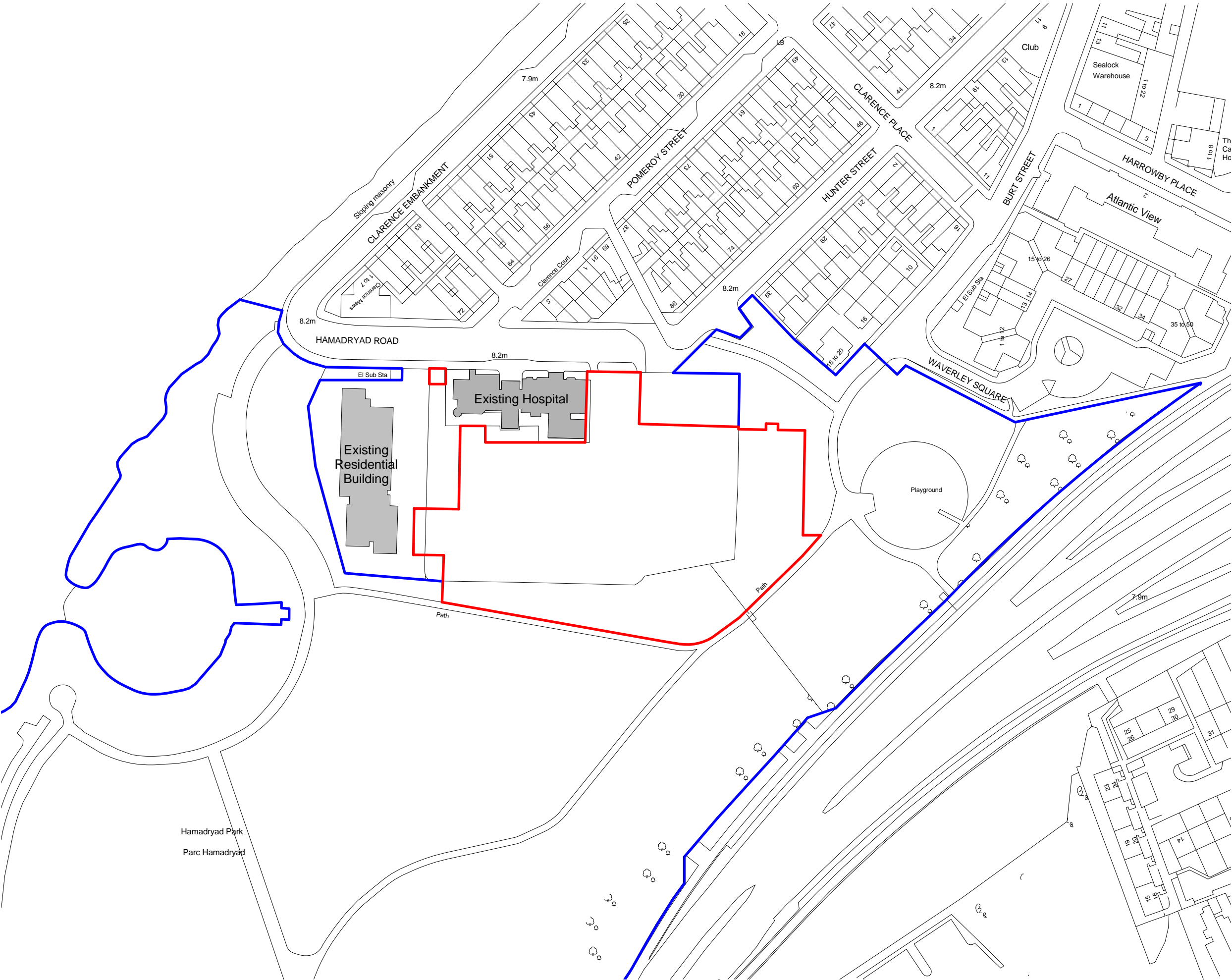
Total value of crossing improvements	<u>£140,000</u>
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Hamadryad residential area improvements:

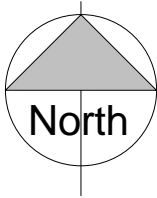
Green outline – School Safety Zone -	£75,000
Blue outline – Buildout removal -	£75,000
Yellow outline – 75% Resident parking + 20MPH -	£10,000

Total value Hamadryad estate	<u>£160,000</u>
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Total value	<u>£300,000</u>
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All construction information should be taken from figured dimensions only.



N.B.
Location of existing residential building
indicative and based on approved plans

PL	PL03	06/01/17	Red line boundary amended
PL	PL02	07/12/16	Planning Application
PL	PL01	21/10/16	Drawings issued for PAC submission.

STATUS	REV	DATE	DESCRIPTION	REVISED BY
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CLIENT

CARDIFF CITY COUNCIL

GDD

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AT

ORIGINATOR NO

150050

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PROJECT

CARDIFF PRIMARY SCHOOLS
YSGOL HAMADRYAD

DRAWING TITLE

Location Plan

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 1250 @ A3

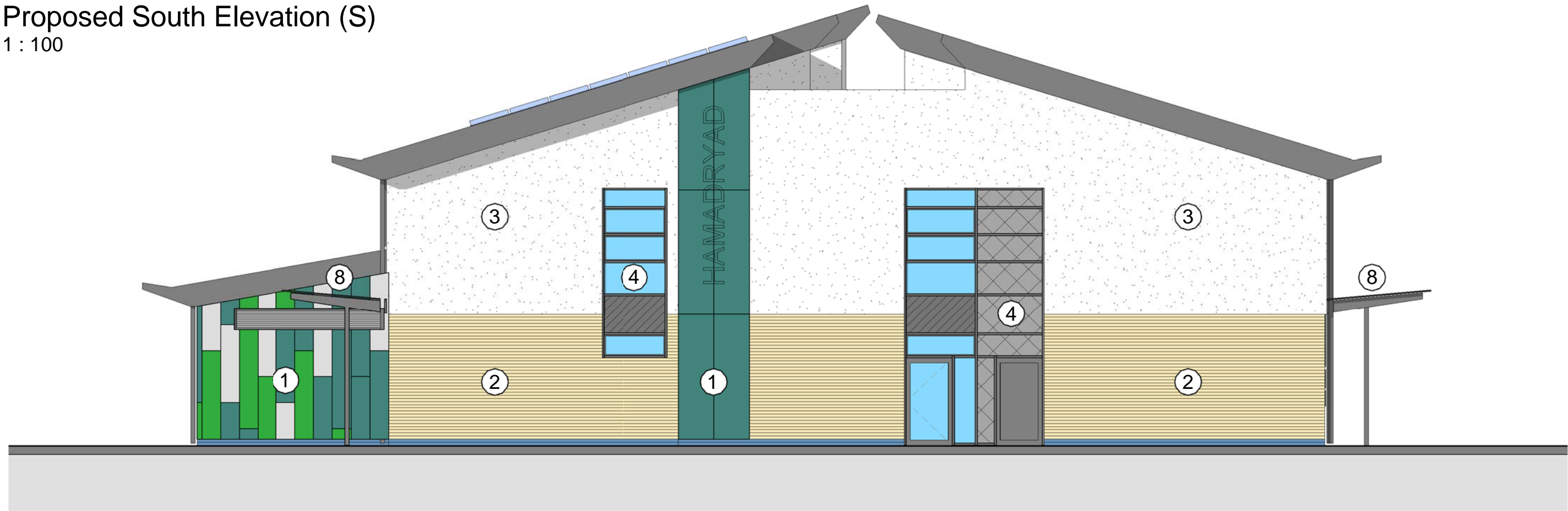
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HAM-STL-XX-ZZ-DR-A-XXXX-00001	PL03



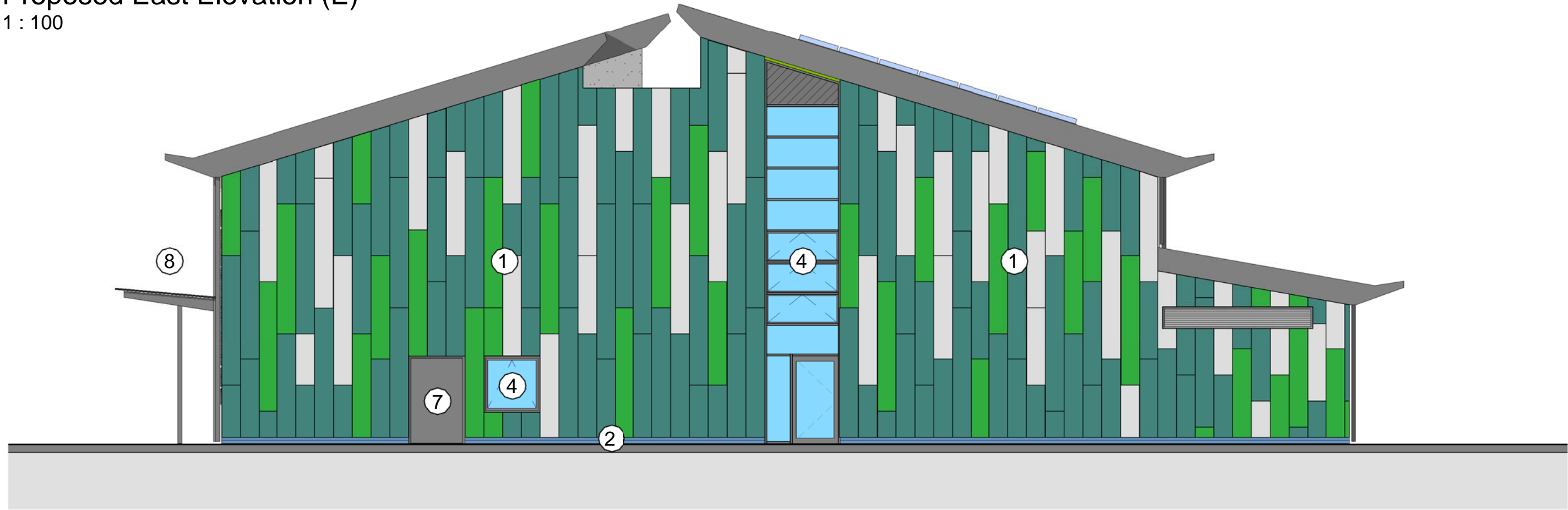
Proposed North Elevation (N)
1 : 100



Proposed South Elevation (S)
1 : 100



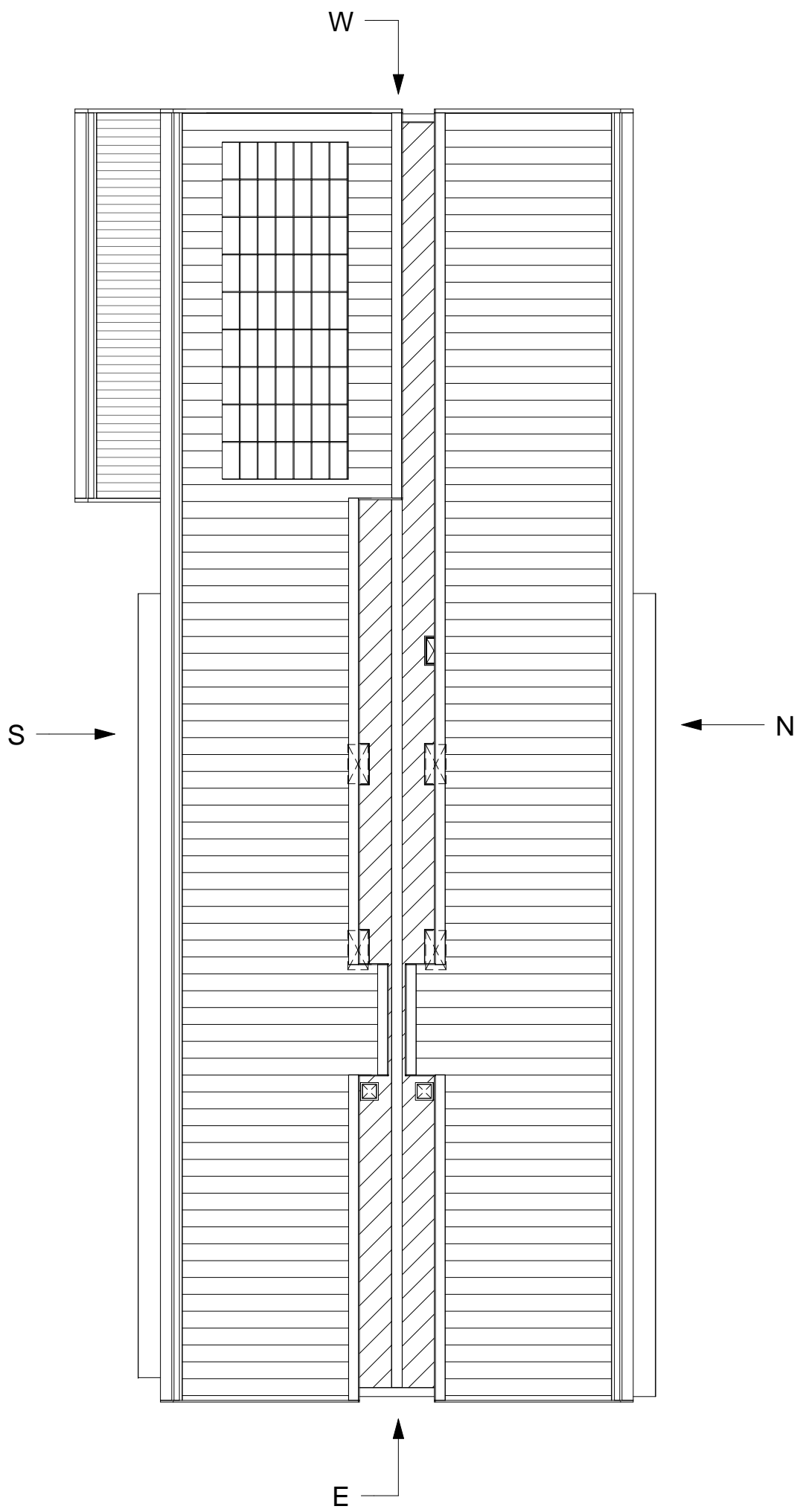
Proposed East Elevation (E)
1 : 100



Proposed West Elevation (W)
1 : 100

Materials

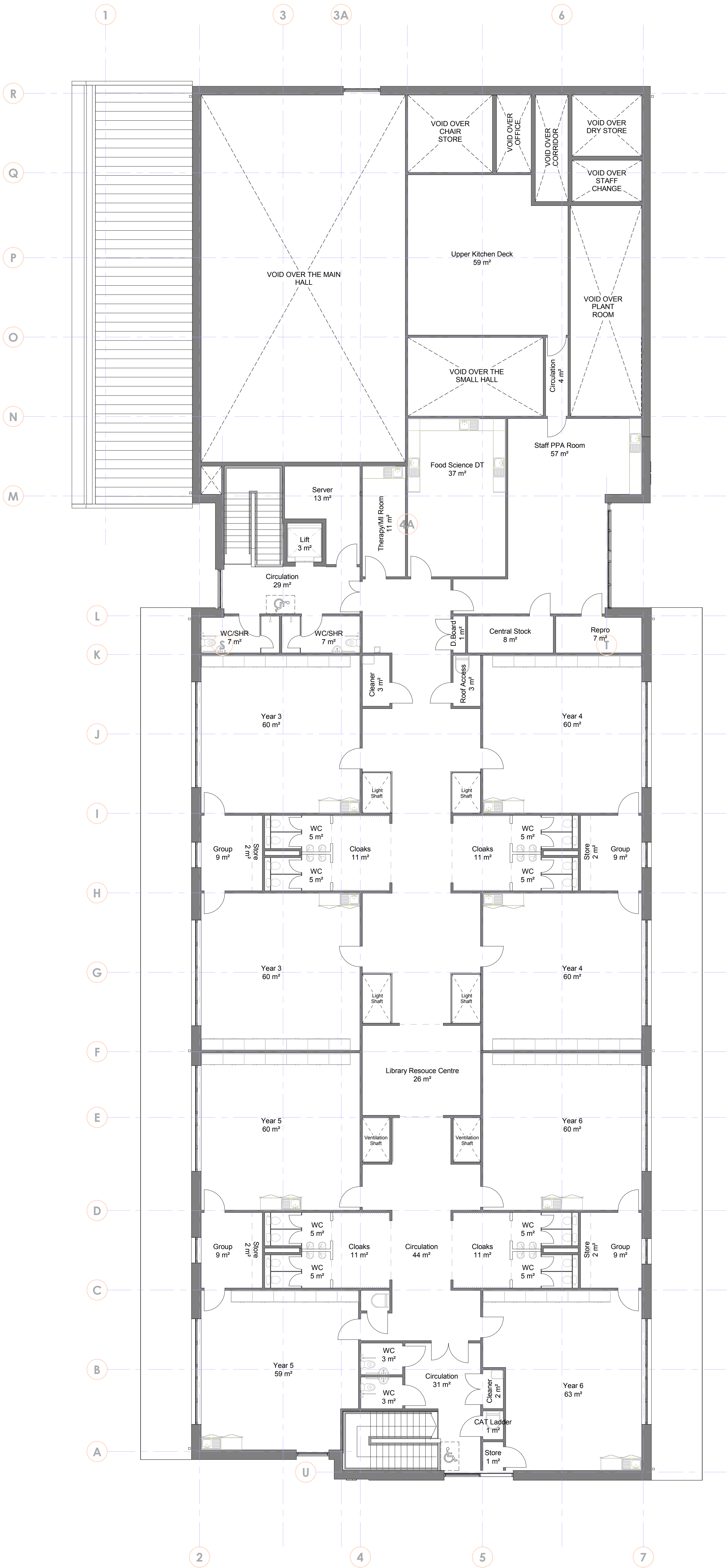
1. Rainscreen Cladding: Colour - Green/ Grey
2. Brickwork: Engineering Brick below DPC / Buff brick finish above DPC (Colour TBC)
3. Render Finish: Colour - White
4. PPC Aluminium Window / Curtain Walling: Colour - Grey
5. Standing Seam Roof: Colour - Grey
6. Downpipes - PPC Aluminium (Exact location to be confirmed)
7. PPC Aluminium Doors
8. External play canopy



PL	PL02	07/12/16	Planning Submission	REVISED BY	GDD
PL	PL01	21/10/16	Drawing issued for PAC submission	CHECKED BY	AT
CLIENT				ORIGINATOR NO	150050
CONSULTANT				STRIDE TREGLOWN	
PROJECT				CARDIFF PRIMARY SCHOOLS HAMADRYAD PRIMARY SCHOOL	

DRAWING TITLE
Proposed Elevations

SUITABILITY STATUS PL : PLANNING	SCALE As indicated @ A1
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER HAM-STL-XX-ZZ-DR-A-XXXX-02001	REVISION PL02

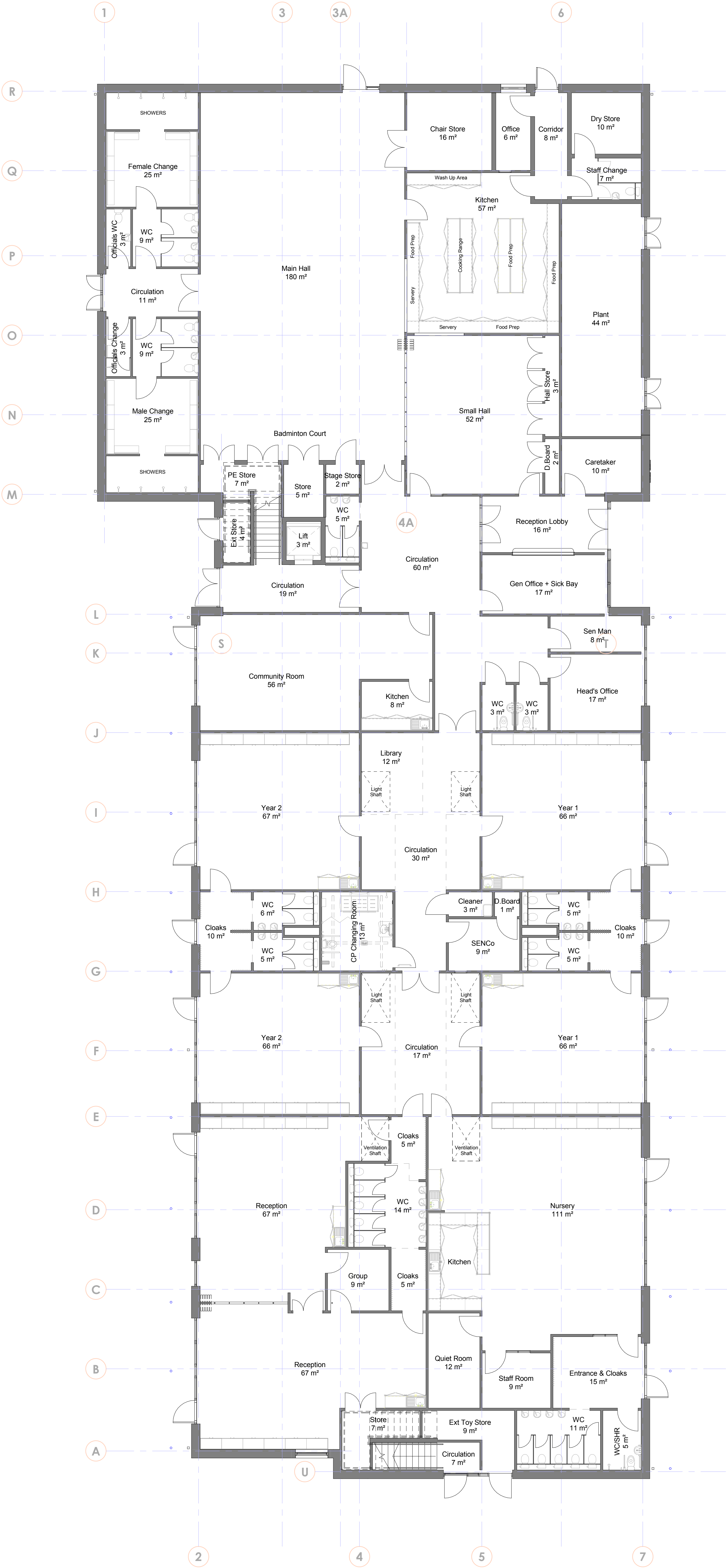


First Floor Plan
1 : 100

PL	PL02	07/12/16	Planning Submission
PL	PL01	21/10/16	Drawing issued for PAC submission
STATUS REV DATE DESCRIPTION			
CLIENT			REVISED BY
CARDIFF CITY COUNCIL			GDD
			CHECKED BY
			AT
			ORIGINATOR NO
			150050
CONSULTANT			
STRIDE TREGLOWN			
PROJECT			
CARDIFF PRIMARY SCHOOLS			
HAMADRYAD PRIMARY SCHOOL			

DRAWING TITLE
Proposed First Floor Plan

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 100 @ A1
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
HAM-STL-XX-ZZ-DR-A-XXXX-01002	PL02



Ground Floor Plan
1 : 100

PL	PL02	07/12/16	Planning Submission
PL	PL01	21/10/16	Drawing issued for PAC submission
STATUS REV DATE DESCRIPTION			
CLIENT			REVISED BY
CARDIFF CITY COUNCIL			GDD
			CHECKED BY
			AT
			ORIGINATOR NO
			150050
CONSULTANT			
STRIDE TREGLOWN			
PROJECT			
CARDIFF PRIMARY SCHOOLS			
HAMADRYAD PRIMARY SCHOOL			

DRAWING TITLE
Proposed Ground Floor Plan

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 100 @ A1
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
HAM-STL-XX-ZZ-DR-A-XXXX-01001	PL02



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MORGAN SINDALL

PL	PL04	03/03/17	Image updated following design development
S2	P44	20/01/17	First Issue

STATUS	REV	DATE	DESCRIPTION
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CLIENT	REVISED BY
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ORIGINATOR NO	150050
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PROJECT

CARDIFF PRIMARY SCHOOLS
YSGOL HAMADRYAD

DRAWING TITLE

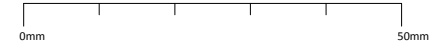
Hamadryad 3D view

SUITABILITY STATUS	SCALE
PL : PLANNING	@ A3

PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
HAM-STL-XX-ZZ-VS-A-XXXX-V0001	PL04



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**MORGAN
SINDALL**

PL	PL05	03/03/17	Image updated following design development
S2	P44	20/01/17	First Issue

STATUS	REV	DATE	DESCRIPTION
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CLIENT	REVISED BY
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CARDIFF CITY COUNCIL	GDD
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	ORIGINATOR NO
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	150050
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PROJECT

CARDIFF PRIMARY SCHOOLS

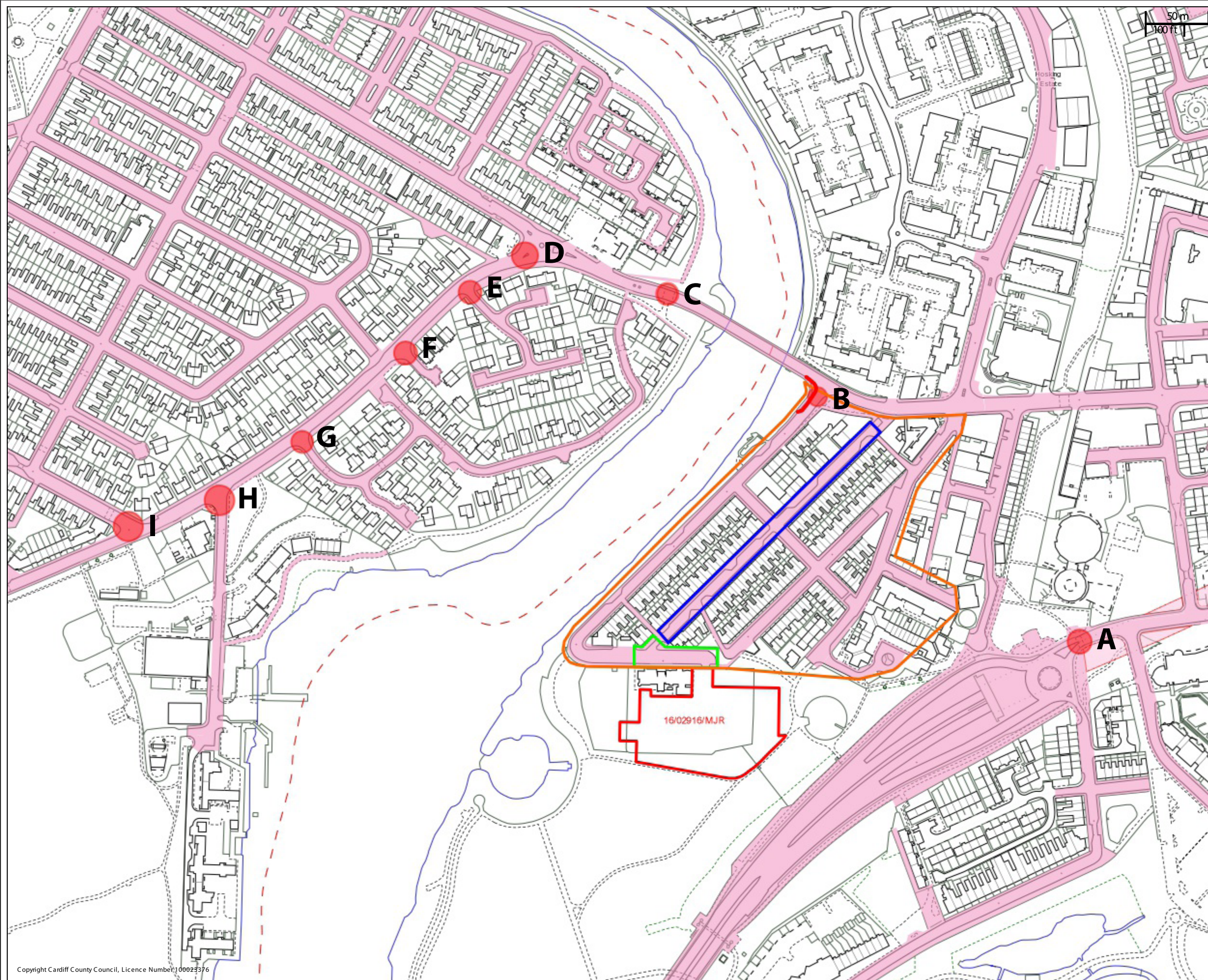
YSGOL GLAN MORFA

DRAWING TITLE

Glan Morfa 3D View

SUITABILITY STATUS	SCALE
PL : PLANNING	@ A3

PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
GL-STL-XX-ZZ-VS-A-XXXX-V0001	PL05



[City of Cardiff Council](#)
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CHIEF EXECUTIVE
Paul Orders
County Hall
Atlantic Wharf
Cardiff CF10 4UW
Tel: 029 20872000

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COMMITTEE DATE: 21/06/2017

APPLICATION No. **16/02994/MJR** APPLICATION DATE: 20/12/2016

ED: **GRANGETOWN**

APP: TYPE: Full Planning Permission

APPLICANT: J G Hale Construction

LOCATION: 162-168 PENARTH ROAD, GRANGETOWN, CARDIFF, CF11 6NJ

PROPOSAL: REDEVELOPMENT TO PROVIDE 19 NO. RESIDENTIAL DWELLINGS, ONE COMMERCIAL UNIT AND ASSOCIATED WORKS

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding planning obligation, in agreement with the Council, or otherwise under **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 8.9 of this report, planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. This consent relates to the following approved plans and documents:

Plans

(90)001
(SK) 001; 002; 003; 004C; 005C; 006C; 007C; 008B and 009
16-659/200A1/1.1
TDA.2250.01

Documents

Asbri Design & Access Statement dated November 2016
Asbri Planning Statement dated November 2016
Asbri Pre-Application Consultation Report dated December 2016
ESP Flood Consequences Assessment rev. 1 ref: 6363s.2663
TDA Landscape Specification and Management Plan dated December 2016
Terra Firma Geotechnical & Geo-Environmental Report ref: 13829
Richard Watkins Ecological Site Induction and Working Method for Works dated 07 November 2016

Reason. For the avoidance of doubt.

3. The residential and commercial refuse storage facilities shown on the

approved plans shall be provided prior to the beneficial use of the development and shall thereafter be retained and maintained.
Reason. To ensure an orderly form of development.

4. Following completion of the ground gas monitoring scheme, the proposed details of appropriate gas protection measures to ensure the safe and inoffensive dispersal or management of gases and to prevent lateral migration of gases into or from land surrounding the application site shall be submitted to and approved in writing to the LPA. If no protection measures are required then no further actions will be required.

All required gas protection measures shall be installed and appropriately verified before occupation of any part of the development which has been permitted and the approved protection measures shall be retained and maintained until such time as the Local Planning Authority agrees in writing that the measures are no longer required.

* 'Gases' include landfill gases, vapours from contaminated land sites, and naturally occurring methane and carbon dioxide, but does not include radon gas. Gas Monitoring programmes should be designed in line with current best practice as detailed in CIRIA 665 and or BS8485 year 2007 Code of Practice for the Characterization and Remediation from Ground Gas in Affected Developments.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

5. Post demolition and prior to the commencement of the construction of the development an assessment of the nature and extent of contamination shall be submitted to and approved in writing by the Local Planning Authority. This assessment must be carried out by or under the direction of a suitably qualified competent person * in accordance with BS10175 (2011) Code of Practice for the Investigation of Potentially Contaminated Sites and shall assess any contamination on the site, whether or not it originates on the site.

The report of the findings shall include:

- (i) not required
- (ii) an intrusive investigation to assess the extent, scale and nature of contamination which may be present, if identified as required by the desk top study;
- (iii) an assessment of the potential risks to:
 - human health,
 - groundwaters and surface waters
 - adjoining land,
 - property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes,
 - ecological systems,

- archaeological sites and ancient monuments; and
- any other receptors identified at (i)

- (iv) an appraisal of remedial options, and justification for the preferred remedial option(s).

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (2012), unless the Local Planning Authority agrees to any variation.

* A 'suitably qualified competent person' would normally be expected to be a chartered member of an appropriate professional body (such as the Institution of Civil Engineers, Geological Society of London, Royal Institution of Chartered Surveyors, Institution of Environmental Management) and also have relevant experience of investigating contaminated sites.

Reason: To ensure that information provided for the assessment of the risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems is sufficient to enable a proper assessment in accordance with policy EN13 of the Cardiff Local Development Plan.

6. Post demolition and prior to the commencement of the construction of the development a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (July 2006), unless the Local Planning Authority agrees to any variation.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

7. The remediation scheme approved by condition x (PC14B above) must be fully undertaken in accordance with its terms prior to the occupation of any part of the development unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Within 6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be submitted to and approved in writing by the Local Planning Authority.

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (July 2006), unless the Local Planning Authority agrees to any variation.

Reason : To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

8. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

9. Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved

in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

10. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

11. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.
Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

12. Prior to commencement of development a scheme shall be submitted to and approved in writing by the Local Planning Authority to provide that all habitable rooms exposed to external road traffic noise in excess of 63 dBA Leq 16 hour [free field] during the day [07.00 to 23.00 hours] or 57 dBA Leq 8 hour [free field] at night [23.00 to 07.00 hours] shall be subject to sound insulation measures to ensure that all such rooms achieve an internal noise level of 40 dBA Leq 16 hour during the day and 35 dBA Leq 8 hour at night. The submitted scheme shall ensure that habitable rooms subject to sound insulation measures shall be provided with acoustically treated active ventilation units. Each ventilation unit (with air filter in position), by itself or with an integral air supply duct and cowl (or grille), shall be capable of giving variable ventilation rates ranging from :

- 1) an upper rate of not less than 37 litres per second against a back pressure of 10 newtons per square metre and not less than 31 litres per second against a back pressure of 30 newtons per square metre, to
- 2) a lower rate of between 10 and 17 litres per second against zero back pressure.

No habitable room shall be occupied until the approved sound insulation and ventilation measures have been installed in that room. Any private open space (excepting terraces or balconies to any apartment) shall be designed to provide an area which is at least 50% of the area for sitting out where the maximum day time noise level does not exceed 55 dBA Leq 16 hour [free field].

Reason: To ensure that the amenities of future occupiers are protected.

13. Prior to implementation a noise assessment shall be carried out and submitted to the Local Planning Authority to ensure the noise emitted from fixed plant and equipment on the site achieves a rating noise level of background -10dB at the nearest noise sensitive premises when measured and corrected in accordance with BS 4142: 2014 (or any British Standard amending or superseding that standard).

Reason: To ensure that the amenities of occupiers of other premises in the vicinity are protected.

14. The finished floor level of the ground floor commercial and residential floorspace shall be set at or above 7.4m AOD.

Reason. To reduce the risk of flooding to the proposed development.

15. No development (excluding demolition) shall commence until a drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall provide for the disposal of foul, surface and land water, and include an assessment of the potential to dispose of surface and land water by sustainable means. Thereafter the scheme shall be implemented in accordance with the approved details prior to the occupation of the development and no further foul water, surface water and land drainage shall be allowed to connect directly or indirectly with the public sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

16. The ground floor commercial unit shall be used for purposes within Use Class A1(Shops) of the Schedule to the Town & Country Planning (Use Classes) Order 1987 (or in any provision equivalent to that Class in any statutory instrument amending, revoking or re-enacting that Order).

Reason. For the avoidance of doubt and to ensure that the use does not prejudice the amenities of the area.

17. In respect of the ground floor commercial unit hereby approved, no member of the pubic shall be admitted to or allowed to remain on the premises between the hours of 20:00 and 08:00 on any day.

Reason: To protect the amenities of adjacent occupiers.

RECOMMENDATION 2 : To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 3 : The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints and;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates / soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under section 33 of the environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site:
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 4 : That the applicant be advised that the highway works condition and any other works to existing adopted public highway are to be subject to an agreement under Section 278 Highways Act 1980 between the developer and Local Highway Authority.

RECOMMENDATION 5 : That the applicant be advised that foul and surface water discharges shall be drained separately from the site and land drainage run-off shall not be permitted to discharge, either directly or indirectly, into the public sewerage system.

1. DESCRIPTION OF PROPOSED DEVELOPMENT

- 1.1 A full application for the residential redevelopment of a quadruple fronted ground floor retail premises, with residential floorspace to the first floor, including the redevelopment of a detached building to the rear of the site, the provision of refuse and cycle storage facilities and the creation of courtyard amenity space.
- 1.2 The proposed development will be of a mainly 2.5 to 3 storey pitched roof design, with a ground floor commercial unit (approx. 129sqm) having a flat roof area to the Penarth Road frontage. The residential accommodation above comprises a standard first floor design, with the second floor being partially in the roofspace.

The layout is broadly L shaped, wrapping around the corner into North Street.

The corner elements (Penarth Road/North St and North St/Thomas St) are slightly taller, with the second floor contained below the roof, which is pitched, with hipped ends. There are dormer windows to the areas of 2.5 storey height, on the Penarth Road and North Street frontages.

- 1.3 To the Thomas Street frontage, there is a single storey pitched roof flat, adjacent to the corner element. The site extends outwards at this point and takes in an enclosed refuse and cycle store and a redeveloped 2 storey pitched roof outbuilding which forms a further two flats, the ground floor flat benefiting from a small private amenity area. These detached flats are connected to the two stores by a boundary wall and railing, creating a secure area that will also access the communal courtyard amenity space.

The rear elevations of the main building benefits from balcony access around the courtyard area, with the main access point for the main flat accommodation on Penarth Road.

- 1.4 The proposed flats comprise 5no. 2 bed units and 14no. 1 bed, with 2x ground floor units being designed specifically for disabled residents.
- 1.5 The proposed buildings are to be finished in a combination of facing brick and render, with Upvc rainwater goods, window frames and soffits. The courtyard amenity area includes limited soft landscaping.
- 1.6 The development proposals are presented as being 100% 'affordable' units, intended for use by a Registered Social Landlord

2. DESCRIPTION OF SITE

- 2.1 The site is approx. 850sqm in area, accommodating two storey pitched roof and

two storey flat roof buildings to the Penarth Road frontage and corner to North Street, with a single storey flat roof building taking up all of the space to the rear. The current main building is finished in a combination of facing brick, render and black painted stone/brick.

- 2.2 The application site includes an area of land to the rear (on Thomas Street) that is currently outside the building curtilage. In addition, the site includes a two storey pitched roof building that is currently in a very poor state of repair.
- 2.3 The area around the application site comprises the remainder of the commercial premises fronting Penarth Road to the east, A former public house now converted to flats to the opposite site of North Street, with further 3 storey flats behind, and two storey dwellings to the opposite side of the Thomas Street area.

To the opposite side of Penarth Road there are 2 storey terraced dwellings.

3. **SITE HISTORY**

- 3.1 No relevant history.

4. **POLICY FRAMEWORK**

- 4.1 The site is located with the Penarth Road/Clare Road District Centre as identified in the adopted Local Development Plan 2006-2026.
- 4.2 The relevant Local Development Plan Policies are:
 - KP5 Good Quality and Sustainable Design
 - KP7 Planning Obligations
 - H2 Conversion to Residential Use
 - EN14 Flood Risk
 - T5 Managing Transport Impacts
 - W2 Provision for Waste Management Facilities in Development
- 4.3 The following Guidance was supplementary to the development Plan, now superseded by the Local Development Plan. However, it is considered consistent with adopted Local Development Plan policies and provides relevance to the consideration of this proposal to help and inform the assessment of relevant matters:

Access, Circulation and Parking Standards 2010
Infill Sites 2011

In addition to the above, the following new Supplementary Planning Guidance is also relevant:

Locating Waste Management Facilities Jan. 2017
Planning Obligations Jan. 2017

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 The Transportation Manager has no objection, making the following comments:

Though no off-street parking is proposed to serve the new flats I consider that this is acceptable in this instance mindful of; the very sustainable location with ready access to shops/services/public transport etc, the fact that this is a Housing Association development with associated lower levels of car ownership among residents, the existing retail use, and the availability to the rear on North Street of a number of communal available parking spaces. I note also that adequate provision is to be made for cycle parking.

I'd therefore have no objection subject to a condition relating to the provision of cycle parking within a lockable structure.

- 5.2 The Highways Drainage Manager has been consulted and no comments have been received.
- 5.3 The Waste Manager indicates that the refuse storage facilities shown on the submitted plans are acceptable, but advises the applicant that additional capacity may be required in future.
- 5.4 The Pollution Control Manager (Contaminated Land) has no objection, subject to conditions in respect of contaminated land issues, with further contaminated land advice.
- 5.5 The Pollution Control Manager (Noise & Air) has no objection subject to the imposition of conditions in respect of traffic noise and plant noise, with further advice in respect of construction site noise.
- 5.6 The Regeneration Manager has been consulted and no comments have been received.
- 5.7 The Parks Manager has no objection, subject to a financial contribution towards the design, improvement and/or maintenance of public open space in the vicinity of the site, making the following comments:

Open Space Provision

These comments relate to the current LDP (C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport; KP16 Green Infrastructure), and the 2017 Planning Obligations Supplementary Planning Guidance (SPG), supported by policies set out in the 2008 SPG for Open Space which set the Council's approach to open space provision.

The Council's LDP requires provision of a satisfactory level and standard of open space on all new housing/student developments, or an off-site contribution towards existing open space for smaller scale developments where new on-site provision is not applicable.

*Based on the information provided on the number and type of units, I have calculated the additional population generated by the development to be **27.2**. This generates an open space requirement of **0.0661 ha** of on-site open space based on the criteria set for **Housing accommodation**, or an off-site contribution of **£28,221**. I enclose a copy of the calculation*

As no public open space is being provided on-site, the developers will be required to make a financial contribution towards the provision of new open space, or the design, improvement and/or maintenance of existing open space in the locality, given that demand for usage of the existing open spaces would increase in the locality as a result of the development.

The use of S106 contribution from this development will need to satisfy CIL and the current distance requirements set out in the 2017 Planning Obligations SPG – play areas 600m (not applicable to student and sheltered accommodation), informal recreation 1000m, and formal recreation 1500mm, measured from edge of the site.

In the event that the Council is minded to approve the application, I assume it will be necessary for the applicant and the Council to enter into a Section 106 Agreement to secure payment of the contribution.

Consultation will take place with Ward Members to agree use of the contribution, and this will be confirmed at S106 stage. The closest areas of recreational open space are Sevenoaks Park, Grange Gardens and Coronation Park.

- 5.8 The Air Quality Officer has no objection, subject to the imposition of a condition relating to dust mitigation during demolition works.
- 5.9 The Housing Strategy Manager has no objection, commenting that the development of the site for 100% 'affordable' housing is welcomed.
- 5.10 The Neighbourhood Renewal Manager (Access) has been consulted and no comments have been received.

6. EXTERNAL CONSULTEE RESPONSES

- 6.1 Dwr Cymru/Welsh Water have no objection subject to conditions in respect of site drainage.
- 6.2 Natural resources Wales have no objection, subject to a condition requiring the finished floor level at ground floor is set at 7.4m AOD.
- 6.3 South Wales Fire & Rescue Service have provided advice that has been passed to the agent.
- 6.4 South Wales Police have been consulted and no comments have been received.

7. **REPRESENTATIONS**

7.1 Adjacent occupiers have been consulted and the application has been advertised on site and in the press in accordance with adopted procedures. No comments have been received.

7.2 Local Members have been consulted.

Councillor Awan sent an email to the agent dated 21 February 2017, seeking clarification of the current and proposed car parking situation and the point of access to the development. Councillor Awan has made no representation in respect of this application.

Councillor Lynda Thorne made the following comments following the resolution of Planning Committee on the 12th April :

Further to my objection at the last Planning Committee I have considered the response from the developers agent and will not be objecting further to this application.

The main points that I raised were not just in relation to this application but in relation to all applications for social housing particularly in relation to allowing permission with no parking provision at all. I would request that officers in preparing new /revised parking standards consider the issue of parking provision for different types of social housing differently.

8. **ANALYSIS**

8.1 A full application for the redevelopment of a quadruple fronted ground floor retail premises, with residential floorspace to the first floor, to provide 19 'affordable' flats, with a smaller ground floor retail unit to the Penarth Road frontage.

8.2 The application was deferred by Committee on the 12th April in order to consider potential grounds for refusal of consent based on incongruousness and overdevelopment.

8.3 In terms of the policy implications of the proposals, the application site falls within Penarth Road/Clare Road District Centre as defined by the Adopted Local Development Plan proposals map and should therefore be assessed against Policy R4 which aims to promote and protect the shopping role of district centres while supporting a mix of appropriate uses. Policy R4 aims to promote and protect the shopping role of district centres and favours retail, office, leisure and community facilities within District Centres. Criterion (iv) permits proposals for uses other than Class A1 at ground floor level if they would not cause unacceptable harm to the predominant shopping role and character of the centre, the vitality, attractiveness and viability of a specific frontage or group of frontages.

Paragraph 5.273 of the supporting text recognises that the provision of

residential accommodation at upper floors within centres can support their vitality, attractiveness and viability.

Whilst the proposed development will result in the loss a large retail unit, the application incorporates a new commercial unit at the ground floor frontage to Penarth Road which will maintain an active frontage in this district centre location and positively benefit the vitality and viability of the frontage. In addition the provision of residential accommodation in the centre would increase footfall and contribute to the centre's vitality and viability.

Assessed against this policy framework, the proposal raises no land use policy concerns.

- 8.4 In terms of design, pre-application discussions have taken place with the developer/architects which have resulted in the design of the proposed scheme being of a scale, form and layout broadly acceptable from a Placemaking perspective.

While the ridge and eaves height of the proposed building would be slightly higher than that of the neighbouring terraced properties, this additional height is considered acceptable within the context of the street scene, given the evident variety in the roofscape along this particular stretch of the street, and given the corner location of the plot.

The front elevation of the proposed building would be largely consistent with that of the existing building frontages. The commercial element proposed would project out as far as the pavement at ground floor level with the upper floors set back in line with the rest of the terrace. The non-commercial corner element of the building, turning the corner between Penarth Road and North Street, would sit on the edge of pavement thereby giving some presence to the building here.

The North Street elevation of the proposed development would represent a significant enhancement on the building currently abutting the street. It is also of note that the general appearance of the proposals to this elevation are reflective of the situation to the former public house on the opposite side of North Street.

Dormer windows are a characteristic feature along this part of Penarth Road and therefore their inclusion within the proposed buildings design is considered acceptable.

- 8.5 The detached building at the rear of the site would sit on largely the same footprint as that of the existing building on this part of the site. As such, it would have no greater impact on the surrounding built form than currently exists. This building would be subdivided into two flats with the ground floor flat benefiting from a small area of external amenity space. The proposed building would represent a visual enhancement of the area, given the poor state of the existing structure.

- 8.6 Negotiations have taken place over the positioning and design of the bin and

bike stores in order to reduce their prominence, improve ease of access for refuse collection and improve security of the bike store. The stores form part of the boundary to the rear of the site, with a link wall and railings between the cycle store and the detached flats, with a 1.8m high railing gate serving as a controlled secondary access point between the refuse store and flat no. 5.

- 8.7 The amenity space provision associated with the proposed development is of a limited size for the number of unit proposed. However, given that the application is for 14 one bed and 5 small two bed flats; as well as being located within a short walk of a large park, it would be difficult to sustain an objection to the proposal on this basis alone. The rear wing of the building, being single storey, would also mean that the amenity space provision would receive an appropriate level of sunlight whilst not feeling overly enclosed/oppressive.
- 8.8 The inclusion of a commercial premises at ground floor is welcomed as this will aid in supporting the commercial viability of the district centre within which the site/building is located. The inclusion of a pedestrian access direct from Penarth Road into the residential accommodation is also welcomed. This would create vitality and interest within the street while eliminating the requirement for residents to access the building solely from the rear along a quieter route with less surveillance.
- 8.9 S106 matters – The following contribution requests have been made, with reference made to the Community Infrastructure Levy tests:

Parks – A contribution of **£28,221** is requested towards the maintenance/provision of open space in the vicinity of the site.

In addition to the above, it is recommended that the residential units hereby approved are to be used as 'Affordable' dwellings, for social rented accommodation only is secured through any legal agreement made.

- 8.10 Having reviewed the webcast of the Committee meeting of the 12th April, and having regard for the matters discussed at that meeting, the agent has submitted the following information in support of a positive resolution:

As you're aware, Asbri Planning are acting as agent to J G Hale Construction Ltd regarding the submission of a full planning application for the development of 19 no. residential dwellings, one commercial unit and associated works at 162-168 Penarth Road, Grangetown, Cardiff which was considered at planning committee on the 12th April 2017. Despite there being officer support for the application, subject to relevant parties entering into a binding planning obligation, or otherwise under Section 106 of the Town and Country Planning Act 1990, the application was considered at committee where members voted 4 votes to 3 to defer the application in order for officers to compose a reason(s) for refusal.

Despite not explicitly objecting to the proposed development, Cllr Linda Thorne expressed her concern with the accumulation of developments within town centre areas in Cardiff that were being delivered with zero parking. This

concern was then expressed by other Planning Committee Members when the application was being debated.

When it came to the vote, the Chair of Planning Committee did not ask if anyone would put the application forward for approval as per the recommendation and instead they went straight to a vote. When the vote came out at 4 votes to 3 to refuse, the Chair realised that they did not have a stated reason for refusal and the members that voted against it were not forthcoming with solid reasons for refusal. Cllr Iona Gordon therefore suggested that the application should be deferred for officers to compose reasons for refusal based on Member concerns about overdevelopment and parking, although in respect of parking she suggested that that ground may be weak. The application was therefore deferred until the next planning committee meeting (21st June) where the application will be debated again before deciding whether to refuse or to approve.

In light of the previous determination, we are aware that the planning committee will now decide whether the previous grounds for refusal are sufficient to refuse the application. As such, I write to detail how there are no grounds for the planning application to be refused as it is fully in accordance with national and local policies and the above reasons hold limited weight when assessed against these policies.

Outlined below is a summary of how each potential reason for refusal that was suggested at the previous planning committee accords with relevant policies and how the application should not be refused on these bases:

Refusal on parking grounds

As detailed within the planning submission, pre-application discussions with Cardiff Council (Ref no. PA/16/00047/MJR) established that, given the sustainable location of the site within a defined district centre, immediately adjacent to a 'central area' and the fact that the development is for a 100% affordable housing scheme, no off-street car parking would be required.

Furthermore, as you rightly pointed out during the previous planning committee, Highways advised in their consultation response that they had no objection to the scheme, as proposed. The full response of the Highways officer to planning application 16/02994/MJR is as follows:

"Though no off-street parking is proposed to serve the new flats I consider that this is acceptable in this instance mindful of; the very sustainable location with ready access to shops/services/public transport etc, the fact that this is a Housing Association development with associated lower levels of car ownership among residents, the existing retail use, and the availability to the rear on North Street of a number of communal available parking spaces. I note also that adequate provision is to be made for cycle parking. I'd therefore have no objection subject to a condition relating to the provision of cycle parking within a lockable structure."

As noted, the site is situated in a high sustainable location close to existing facilities and public transport and the scheme is for 100% affordable housing which has a typically lower level of car use. Below is a table which illustrates exactly how sustainable the site is:

Distance from site (approx.)	Facility	Notes
0m	Penarth Road/Clare Road District Centre	This District Centre is defined by all extant and emerging development plans
50m	Bus stops on Penarth road	Cardiff Bus services 8, 9 and 9a accessible within this distance
200m	Grangetown Railway Station	Local railway station with 8 trains per hour to Cardiff Central. Other services to stations including Merthyr Tydfil, Penarth, Barry and Bridgend
1.1km	Cardiff Central and edge of city centre	Central train and bus station for the city. Also marks edge of Central Business District

In line with the highway officer's comments, please note that cycle storage is provided at a minimum rate of one space per apartment/dwelling, in a covered cycle parking area located to the rear of the site. Again, the location of this facility has been agreed during pre-application discussions.

Therefore, as officers advised at pre-app stage and during the course of the application that zero parking was acceptable and in-line with the SPG, it is considered that there is no ground to refuse the planning application, based on parking provision.

Refusal on grounds of overdevelopment and scale

In terms of density/overdevelopment, again, officers raised no objections on this basis. The site measures approximately 0.1ha so the development of 19 flats equates to a density of 190 dwellings per hectare. Whilst this is relatively high, it is not excessively high given that national and local policy states that "Higher density development, including residential development, should be encouraged near public transport nodes or near corridors well served by public transport." (PPW). Penarth Road is a busy public transport corridor and the site is located within walking distance of the shops and facilities along Penarth Road/Clare Road and indeed the City Centre. It could hardly be more sustainable (as evidenced in the table, above).

In terms of scale, the existing building is 2 storey in height, whilst the proposed building is 3-storey at the corner of Penarth Road/North Street, then steps

down slightly to 2.5-storey with the upper floor featuring dormers. This reflects 2.5 - 3 storey development on the opposite side of Penarth Road and North Street and with lower floor to ceiling heights, the scheme is not significantly higher than the existing building and certainly not to the extent that it is out of character with the area. This is reflected in the officer report which states;

“...pre-application discussions have taken place with the developer/architects which have resulted in the design of the proposed scheme being of a scale, form and layout broadly acceptable from a Placemaking perspective.”

This letter echoes your assessment of the development as, whilst the ridge and eaves height of the proposed building would be slightly higher than that of the neighbouring terraced properties, this additional height is considered acceptable within the context of the street scene, given the evident variety in the roofscape along this particular stretch of the street, and given the corner location of the plot.

Furthermore, the front elevation of the proposed building would be largely consistent with that of the existing building frontages. The commercial element proposed would project out as far as the pavement at ground floor level with the upper floors set back in line with the rest of the terrace. The non-commercial corner element of the building, turning the corner between Penarth Road and North Street, would sit on the edge of pavement thereby giving some presence to the building here.

As such, it is clear that the development of the site would not be out of character and the scale and density of developments are wholly acceptable considering the site's location and the promotion of higher density developments within such sustainable areas.

Refusal on grounds of design

Despite not being referred to as a potential reason for refusal at the previous planning committee, this letter will establish how there is, again, minimal grounds to which local members can refuse the application on design terms. The proposed development of the site has been subject to extensive pre-application discussions with both yourself and the design and place making team at Cardiff Council and it was agreed that the form and layout, as proposed were considered acceptable, in accordance with the local policies contained within the adopted Local Development Plan. The materials have been consciously selected in order to introduce a modest yet contemporary and high quality design to the street scene, with particular consideration to the existing architectural features within the built form, including the addition of dormer windows which are a characteristic feature along this part of Penarth Road. Accordingly, it is considered that the architectural approach and the design of the development is to be commended as a quality solution, enhancing the local vernacular, in line with the aspirations of local development plan policies.

Refusal on grounds of the principle of development in terms of land use planning policy

Similarly to the above, the principle of development was not questioned by committee members, however it is considered prudent to reiterate that the location of the site, within the defined settlement boundary for Cardiff means that the principle of development is considered to be acceptable and there should be no reason to refuse on this ground. The redevelopment of brownfield sites within sustainable location is supported by both national and local policies with Paragraph 9.2.8 of PPW in particular advocating a search sequence which starts with the re-use of previously developed land and buildings within defined settlements. There is no defined land use specified for the site, so its demolition and redevelopment for residential purposes is considered wholly appropriate.

Refusal on grounds of loss of retail land

Despite the demolition of the existing retail unit at ground floor, the development will include a new, purpose built commercial unit at ground floor which will maintain an active frontage along the Penarth Road/Clare Road District Centre whilst the flats above will create footfall and contribute to the vitality and viability of the street scene. It must be noted also that the current FA Jones unit is vacant and there is already a business which is waiting to occupy the new unit at ground floor. In the officer report to committee, it is stated that when assessed against the most pertinent policy (Policy R4 of the LDP) the development raises no land use policy concerns. We concur with your assessment.

Reasons for Approval

Notwithstanding the above reasons, the positive approval of this planning application, in line with your original recommendation would bring forward a sustainable site within a defined district centre for much needed affordable housing. The planning application demonstrates that the site can be delivered, as proposed, with no identified constraints. The application has been subject to an assessment on all matters raised at pre-app response, all of which confirming that there are no reasons for its refusal. Furthermore, the application has been prepared in accordance with Part 1 Section 2F of the 2016 Order requires that all major planning applications have been subject to pre-application consultations with local residents, local councillors and ward members and all relevant specialist consultees (we also consulted with all internal consultants within Cardiff Council for completeness). The pre-application consultation report, submitted as part of the submission confirms that there were no objections from any of the above in regards to the proposed development.

In terms of housing supply, Welsh Government, through PPW TAN 1 requires that all Local Planning Authorities must maintain a 5 year supply of housing land. The most recent Joint Housing Land Availability Study (JHLAS) (April 2016) shows that Cardiff have only 3.8 years' worth of deliverable housing land, which is therefore significantly below the required 5 year supply.

TAN 1 emphasises that new home building is essential in Wales, not only to meet the growing need for housing, but also as an important driver of economic development and job creation. The Welsh Government sees planning becoming an enabler of appropriate development that supports national, local and community objectives, including the delivery of new homes. Furthermore, TAN 1 also states that where Authorities cannot demonstrate a 5-year supply of land, the need to increase housing land supply should be given ‘*considerable*’ weight in the determination of planning applications, provided that all other material considerations are adequately satisfied. All other considerations have been satisfied within the planning submission.

In order to properly contribute to the 5-year housing land supply, PPW (Para. 9.2.3) insists that sites must be “*genuinely available or will become available*” for development within 5 years and further that they should be “*free, or readily freed, from planning, physical and ownership constraints, and economically feasible for development.*” With this in mind, the site has been purchased by Taff Housing Association, therefore, the site can be delivered and fully occupied in the short-term, and the planning application clearly indicates that it is free from any physical constraints. Planning, therefore, is the only remaining constraint to the site being developed for 19 no. affordable housing.

In terms of housing need and specifically affordable housing, Cardiff’s most up-to-date Local Housing Market Assessment Update 2015 (LHMA), identifies a need for 10,006 affordable dwellings per year in Cardiff. Furthermore, figures from the Housing Team at Cardiff Council confirms that a total of 8,642 applicants are on the combined affordable housing waiting list with a need for 634 one-bed properties and 433 two-bed properties within the ward of Grangetown. There is, therefore, a clear need for affordable housing within the area and the positive determination of this planning application would assist in bringing forward much needed housing within a sustainable, brownfield location, in compliance with Policy KP16 of the adopted Local Development Plan.

Taking all of the above into consideration, the positive determination of planning application 16/02994/MJR and the subsequent delivery of 19 no. affordable dwellings at the vacant site of the former FA Jones premises would undoubtedly assist in the delivery of much needed affordable housing within the area. There are no reasons for the refusal of the application, as evidenced within this letter, as parking and overdevelopment are in accordance with the policies contained within the adopted Local Development Plan and Supplementary Planning Guidance and there are no objections from either yourself or the Highway and Placemaking team on these grounds.

For the above reasons we respectfully request that the planning application for 19 no. residential dwellings, one commercial unit and associated works at 162-168 Penarth Road, Grangetown, Cardiff is approved at the next planning committee on the 21st June.

8.11 Having considered the response from the Applicant, Councillor Thorne has

made the additional following comments :

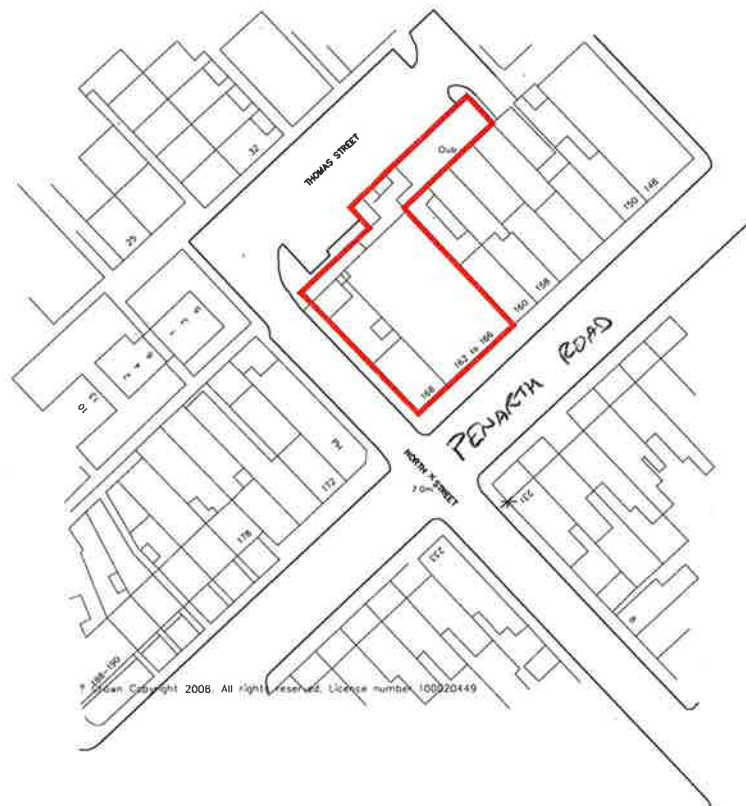
Further to my objection at the last Planning Committee I have considered the response from the developers agent and will not be objecting further to this application.

The main points that I raised were not just in relation to this application but in relation to all applications for social housing particularly in relation to allowing permission with no parking provision at all. I would request that officers in preparing new /revised parking standards consider the issue of parking provision for different types of social housing differently.

- 8.12 In light of the above, and having regard for adopted planning policy guidance it is recommended that planning permission be granted.
- 8.13 Should Members be minded to refuse planning permission, in accordance with the resolution of the 12th April 2017, the following is offered as a possible reason:

The proposal represents an incongruous over-development of the site by reason of its design, scale and massing which fails to respond appropriately to local character and context, causing unacceptable harm to the amenity of the area, contrary to the provisions of policy KP5(i), KP5(x) and H6(ii) of the adopted Cardiff Local Development Plan 2016, paragraph 9.3.3 of Planning Policy Wales (Edition 9, November 2016), and Planning Policy Wales Technical Advice Note 12 'Design', March 2016.

Notes This drawing is copyright. All dimensions are to be checked prior to construction or manufacture. Any discrepancies to be reported immediately to the Architect.		davies llewelyn and jones Chartered Architects The Mallings, East Tyndall Street, Cardiff Bay, Cardiff CF1 5EA. Tel: (020) 20464433 Fax: (020) 20464346
Sheet SITE LOCATION PLAN	Sheet No/Revision (90)001	Client TAFF HOUSING ASSOCIATION
Date DEC 2016	Scale 1:1250	Drawn/Checked WM/DD
		Job PROPOSED RESIDENTIAL DEVELOPMENT AT 162-168 PENARTH ROAD, CARDIFF.



SITE LOCATION PLAN



EXISTING SITE PLAN

notes

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING ARCHITECTS DRAWINGS

- (S0101) SITE LOCATION PLAN
- (S0101) EXISTING SITE SURVEY
- (S0102) EXISTING SITE PLAN
- (S0103) EXISTING ELEVATIONS
- (S0104) PROPOSED SITE LAYOUT
- (S0105) PROPOSED GROUND FLOOR PLAN
- (S0106) PROPOSED FIRST FLOOR PLAN
- (S0107) PROPOSED SECOND FLOOR PLAN
- (S0108) PROPOSED ELEVATIONS
- (S0109) PROPOSED FLAT TYPES
- (74101) PROPOSED KITCHEN LAYOUTS
- (74102) PROPOSED KITCHEN LAYOUTS

AREA TO BE DEMOLISHED

Notes
This drawing is a preliminary plan and is not to be used for construction purposes. It is intended to show the general layout of the proposed development and is subject to change without notice. The final design shall be determined by the planning authority and the architect.

Specification
The drawing shall be read in conjunction with the following specifications. The drawing shall be read in conjunction with the following specifications. The drawing shall be read in conjunction with the following specifications.

EXISTING SITE PLAN
Date: SEPT 2016 11:100
Scale: 1/100
Drawing No: (SK)002
Author: AV/D

doyle hewlyn and jones
Chartered Architects
100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 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notes

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING ARCHITECTS DRAWINGS

- 80001 SITE LOCATION PLAN
- SK001 EXISTING SITE SURVEY
- SK002 EXISTING SITE PLAN
- SK003 EXISTING ELEVATIONS
- SK004 PROPOSED SITE LAYOUT
- SK005 PROPOSED GROUND FLOOR PLAN
- SK006 PROPOSED FIRST FLOOR PLAN
- SK007 PROPOSED SECOND FLOOR PLAN
- SK008 PROPOSED ELEVATIONS
- SK009 PROPOSED FLAT TYPES
- 74101 PROPOSED KITCHEN LAYOUTS
- 74102 PROPOSED KITCHEN LAYOUTS

SCHEDULE OF MATERIALS

FLATS

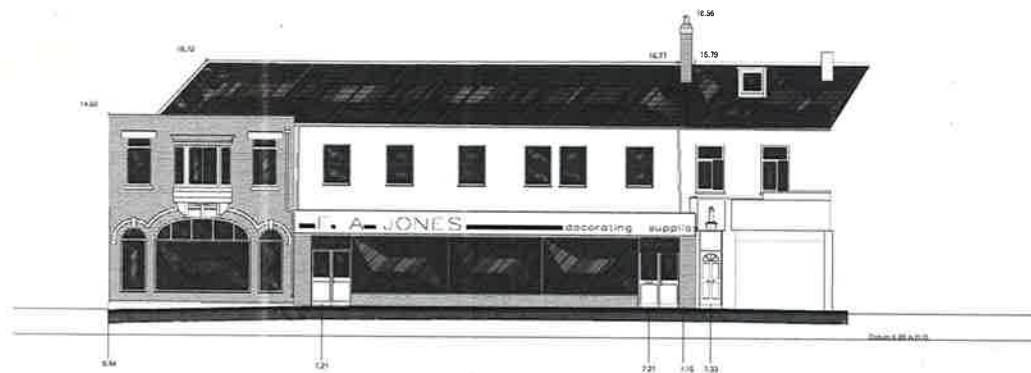
WALLS
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RENDER SAND-CEMENT RENDER
COURSED RANDOM RUBBLE STONE WALL

ROOF
EXISTING SLATE ROOF TILES

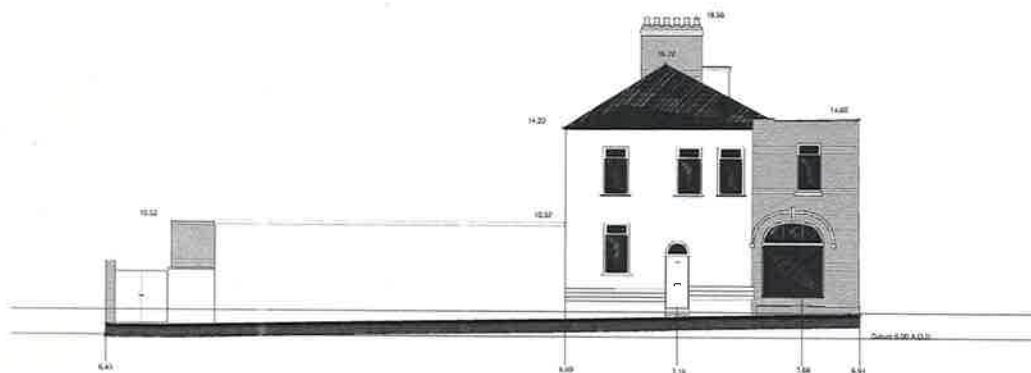
WINDOWS
ALUMINIUM FRAMED SHUSH WINDOWS
R/W GUTTERS - DOWNPIPES
PVC-U COLOUR BLACK

COMMERCIAL UNIT

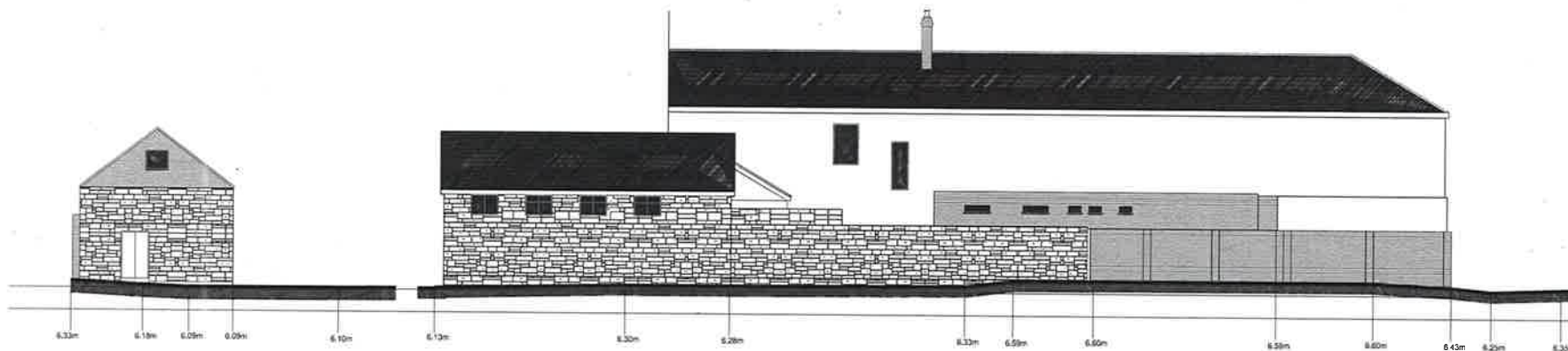
WINDOWS & DOORS
COLOUR COATED ALUMINIUM WINDOW FRAMES
AND DOORS



Existing Front Elevation - Penarth Road



Existing Side Elevation - North Street



Existing Side Elevation - Thomas Street

Existing Side Elevation - Thomas Street

EXISTING ELEVATIONS

NOTES

This drawing is a copyright of Davies Jewell and Jones. It is not to be used in any other project without the written consent of Davies Jewell and Jones.

Specification
This drawing shall be read in conjunction with the following specifications. The drawings shall be read in conjunction with the following specifications. The drawings shall be read in conjunction with the following specifications.

EXISTING ELEVATIONS

SEP 2016 1:100

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PROPOSED RESIDENTIAL DEVELOPMENT AT 102-108 PENARTH ROAD, CARDIFF

DAVIES JEWELL AND JONES

DAVIES JEWELL AND JONES
Chartered Architects
102-108 PENARTH ROAD, CARDIFF

PENARTH ROAD

notes

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH
THE FOLLOWING ARCHITECTS DRAWINGS

GROUND FLOOR		
COMMUNAL FLAT TYPE A	2P1B	3 No
DISABLED FLAT TYPE B	2P1B	1 No
DISABLED FLAT TYPE E	3P2B	1 No
WALK UP FLAT TYPE C	2P1B	1 No
COMMERCIAL UNIT		
		1 No
FIRST FLOOR		
COMMUNAL FLAT TYPE A	2P1B	4 No
COMMUNAL FLAT TYPE D	3P2B	2 No
WALK UP FLAT TYPE C	2P1B	1 No
SECOND FLOOR		
COMMUNAL FLAT TYPE A	2P1B	4 No
COMMUNAL FLAT TYPE D	3P2B	2 No
TOTAL No OF FLATS		12 No

<p>NOTES</p> <p>THIS DRAWING IS THE PROPERTY OF J. J. JOHNSON & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF J. J. JOHNSON & ASSOCIATES, INC.</p> <p>DATE: 01/15/2018</p> <p>BY: J. J. JOHNSON</p>																																																																																																																																																																																																																																																																						
<p>PROJECT INFORMATION</p> <p>PROJECT NAME: 102-168 PENNANTH ROAD, CARDOFF, GA 30115</p> <p>PROJECT LOCATION: 102-168 PENNANTH ROAD, CARDOFF, GA 30115</p> <p>PROJECT OWNER: J. J. JOHNSON & ASSOCIATES, INC.</p> <p>PROJECT ARCHITECT: J. J. JOHNSON & ASSOCIATES, INC.</p> <p>PROJECT ENGINEER: J. J. JOHNSON & ASSOCIATES, INC.</p> <p>PROJECT DESIGNER: J. J. JOHNSON & ASSOCIATES, INC.</p> <p>PROJECT CONSTRUCTOR: J. J. JOHNSON & ASSOCIATES, INC.</p>																																																																																																																																																																																																																																																																						
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>3</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>4</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>5</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>6</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>7</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>8</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>9</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>10</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>11</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>12</td> <td>01/15/2018</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>13</td> <td>01/15/2018</td> <td>ISSUED 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daves jewelyn and jones
Chartered Architects
The Westgate East Yorks Street, Leeds, W. Yorks LS1 4BE. Tel: (0113) 2522 1222

PROPOSED SITE LAYOUT - GROUND FLOOR LEVEL

NORTH STREET



PROPOSED ELEVATIONS

WINDOWS & DOORS
POWDER COATED ALUMINIUM WINDOW FRAMES
AND DOORS

davies lewelyn and jones
Chartered Architects
31 Abchurch Lane, London, EC4N 3DF
Tel: 020 7424 1400 Fax: 020 7424 1401
www.dlj.co.uk

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COMMITTEE DATE: 21/06/2017

APPLICATION No. **16/03049/MNR**

APPLICATION DATE: 28/03/2017

ED: **PENYLAN**

APP: TYPE: FULL PLANNING PERMISSION

LOCATION: 40 LADY MARY ROAD, PENYLAN, CARDIFF, CF23 5NT
 PROPOSAL: PROPOSED DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF A 4 STOREY RESIDENTIAL DEVELOPMENT COMPRISING FOUR 2 BED APARTMENTS AND A TWO STOREY 2 BED MAISONETTE WITH ON SITE PARKING, AMENITY, CYCLE AND REFUSE STORAGE FACILITIES

RECOMMENDATION 1: That subject to the relevant parties entering into a binding planning obligation in agreement with the Council under **SECTION 106** of the Town & Country Planning Act 1990, in respect of matters detailed in sec. 8.6 of this report, planning permission be **GRANTED** subject to the following conditions:

1. C01 - Statutory Time Limit
2. The development, other than as explicitly stated by Conditions 4, 5, 7 & 10, shall be carried out in accordance with the following approved plans:
 - AL(01)01 Rev. A – Proposed Plans
 - AL(01)02 – Proposed Elevations
 - AL(90)03 Rev. C – Proposed External Plan

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. The development hereby permitted shall be finished in accordance with a schedule of materials that shall be approved by the Local Planning Authority.

Reason: In the interests of the visual amenity of the Conservation Area in accordance with Policies KP5, KP17 and EN9 of the Cardiff Local Development Plan 2006-2026.

4. Prior to beneficial occupation of the development hereby permitted a means of enclosure to the site shall be erected in accordance with details which have been approved by the Local Planning Authority.

Reason: In the interests of the visual amenity of the Conservation Area and to secure an orderly form of development in accordance with Policies KP5, KP17 and EN9 of the Cardiff Local Development Plan 2006-2026.

5. Prior to beneficial occupation the north facing windows within the rear elevation, on the first and second floors, shall be obscurely glazed and non-opening below a height of 1.7m from internal floor level and thereafter so retained.
Reason: To protect the privacy of neighbouring occupiers in accordance with Policies KP5 of the Cardiff Local Development Plan 2006-2026.
6. The privacy screens, shown on the Roof Plan dwg. no. AL(01)01, shall be provided to a minimum height of 1.7m from the floor level of the terrace in materials to match the building.
Reason: To protect the privacy of neighbouring occupiers in accordance with Policies KP5 of the Cardiff Local Development Plan 2006-2026.
7. Notwithstanding the submitted details (dwg. no. AL(01)01, AL(01)01/A and AL(90)03/B) prior to beneficial use of the development hereby submitted a secure and undercover bicycle store, providing for 10 spaces, shall be provided in accordance with details which have been approved by the Local Planning Authority.
Reason: To promote sustainable modes of transport in accordance with Policies KP8 and T5 of the Cardiff Local Development Plan 2006-2026.
8. The development shall be undertaken in accordance with the 'Arboricultural Method Statements and Specifications', dated 20th March 2017, and the landscaping shall be completed in accordance with dwg. no. AL(90)03 Rev. C within the first planting season following beneficial occupation of the development hereby approved.
Reason: In the interests of the preservation and enhancement of natural heritage/green infrastructure and the visual amenity of the area in accordance with Policies KP5, KP16 and EN8 of the Cardiff Local Development Plan 2006-2026.
9. Prior to beneficial occupation of the development hereby permitted a Rain Water Harvesting System, which may allow for overflow at a low rate into the existing watercourse, shall be provided for the disposal of surface water in accordance with an appropriately qualified engineer's specification.
Reason: To ensure a sustainable water sensitive development is achieved and to protect the public sewerage from hydraulic overload in accordance with TAN 15 and Policy EN10 of the Cardiff Local Development Plan 2006-2026.
10. Notwithstanding the submitted details (dwg. no. AL(01)01, AL(01)01/A and AL(90)03/B) prior to beneficial occupation of the development hereby permitted a refuse storage facility shall be provided in accordance with further details which shall have been approved by the Local Planning Authority.
Reason: In the interests of visual amenity and to secure an orderly form of development in accordance with Policies KP5 and W2 of the Cardiff Local Development Plan 2006-2026.

RECOMMENDATION 2: In the light of the low risk that bats may be present in the buildings to be demolished, the following precautionary mitigation measures are recommended to the applicant:

- Demolition works should be timed to avoid bats' maternity and hibernation seasons, so demolition in September/October or March/April is advisable;
- Site operatives should be advised to be aware that bats may be present;
- If bats are found during these works, they should stop immediately and Natural Resources Wales contacted for advice – to continue otherwise may result in a criminal offence;
- Features such as soffits, barge-boards, fascias etc, and any other features which bats may use to roost or to access a roost should be 'soft-stripped' in order to reduce the risk of harm to bats;
- A bat-licenced ecologist should be on call in case bats are found during demolition;
- Enhancement measures for bats, such as bat bricks, bat tiles or providing bat access to roof void may be incorporated into the new building;
- If works do not take place within one year of the most recent bat survey, the bat survey should be repeated as bats may colonise the building in this time.

RECOMMENDATION 3: To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 4: Bulk containers must be provided by the developer/other appropriate agent, to the Councils' specification (steel containers are required where capacity exceeds 240 litres) as determined by S46 of the Environment Protection Act 1990 and can be purchased directly from the Council. Please contact the Waste Management's commercial department for further information on 02920 717504. The following capacity of containers shall be provided:

Dry Recyclables:	1 x 660 litre bulk bin
Compostable waste:	1 x 240 litre bin
General waste:	1 x 660 litre bulk bin
Food Waste:	1 x 240 litre bin

RECOMMENDATION 5: Dwr Cymru / Welsh Water advise:

- That no surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage network;
- The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement

to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com;

- The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. Under the Water Industry Act 1991 Dwr Cymru / Welsh Water has rights of access to its apparatus at all times.

1. DESCRIPTION OF THE SITE

- 1.1 The existing property comprises a 1960's detached two-storey dwelling with single-storey extensions and a landscaped rear garden with retaining walls to the north boundary where a watercourse runs towards the nearby lake.
- 1.2 The rear garden is approximately 2.8m above the rear gardens of 1 and 2 Scott Court, which adjoin the site to the north. A lime tree of significant height is located adjacent to the north site boundary.
- 1.3 The site is located within the Roath Park Lake and Gardens Conservation Area. The southeast boundary of the site forms the boundary of this part of the conservation area.
- 1.4 The plots either side of the application site accommodate three-storey apartment buildings.
- 1.5 Lady Mary Road ascends sharply to the south and descends to the west towards the lake. The southeast boundary of the site adjoins the entrance to allotments.

2. DESCRIPTION OF PROPOSED DEVELOPMENT

- 2.1 Planning permission is sought for the demolition of the existing dwelling and the re-development of the site to provide a building comprising four 2 bedroom apartments within a four storey block and a 2 bedroom maisonette within a two storey block.
- 2.2 The proposed building would be of a contemporary design utilising a mix of rendered walls and stonework detailing finished with flat roofs, providing terraces, for the first, second and third storey, and a mono-pitch roof for the fourth storey.
- 2.3 The proposed building would stand at a minimum of approximately 6m at a single storey in height (approx. 4m), 7m at three storey in height (approx. 8.5m) and 9m at four storey (approx. 12m) in height from the boundaries of neighbouring properties through the use of a stepped design as height increases.
- 2.4 The proposed development will provide 6 car parking spaces (including a tandem

space) and a dedicated bicycle store with 5 spaces. Vehicular access arrangements will be via the existing access point.

- 2.5 The proposed development would be provided with terraced gardens providing amenity space and a dedicated refuse store is proposed close to the vehicular access point. A scheme of proposed landscaping has been submitted.
- 2.6 A drainage report has been submitted detailing that permeability tests have been undertaken at the site and the use of soakaways is not a suitable method for the disposal of surface water. It is proposed that surface water is collected for use in a rainwater harvesting system provided with an overflow to an attenuation tank that will discharge at a low rate into an existing stream on site is provided.

3. PLANNING HISTORY

- 3.1 06/02261/E - Conservation Area Consent granted, in April 2007, for demolition of existing dwelling and attached garage.
- 3.2 06/02181/E - Permission granted by the Planning Inspectorate, in September 2007, for the demolition of existing 4 bed house and garage and the construction of 3 no. 3 bed apartments over 3 garages, having originally been refused permission by the local planning authority in April 2007
- 3.3 06/01151/E - Permission sought, in May 2006, for demolition of detached dwelling and the construction of three 2/3 bedroom apartments. Withdrawn prior to determination.
- 3.4 11/00616/DCO - Permission granted, in August 2011, for the demolition of existing dwelling and alterations, extension and construction of 3 storey residential development comprising 4 apartments with on-site car parking, cycle storage, refuse storage and amenity space.
- 3.5 11/00620/DCO – Conservation Area Consent granted, in August 2011, for part demolition of existing dwelling.

4. PLANNING POLICY AND GUIDANCE OF PARTICULAR RELEVANCE

- 4.2 National Planning Policy & Guidance
- Planning Policy Wales (9th Ed, 2016)
 - Technical Advice Note 2: Planning and Affordable Housing (2006)
 - Technical Advice Note 5: Nature Conservation and Planning (2009)
 - Technical Advice Note 12: Design (2016)
 - Technical Advice Note 15: Development and Flood Risk (2004)
- 4.3 Cardiff Local Development Plan 2006-2026 (2016)
- Policy KP3B (Settlement Boundaries)
 - Policy KP5 (Good Quality & Sustainable Design)
 - Policy KP8 (Sustainable Transport)
 - Policy KP13 (Responding to Evidenced Social Needs)

- Policy KP15 (Climate Change)
- Policy KP16 (Green Infrastructure)
- Policy KP17 (Built Heritage)
- Policy KP18 (Natural Resources)
- Policy EN7 (Priority Habitats and Species)
- Policy EN8 (Trees, Woodlands and Hedgerows)
- Policy EN9 (Conservation of the Historic Environment)
- Policy EN10 (Water Sensitive Design)
- Policy EN11 (Protection of Water Resources)
- Policy EN13 (Air, Noise, Light Pollution and Contaminated Land)
- Policy H3 (Affordable Housing)
- Policy C3 (Community Safety/Creating Safe Environments)
- Policy T5 (Managing Transport Impacts)
- Policy W2 (Provision for Waste Management Facilities in Development)

4.4 Supplementary Planning Guidance

- Access, Circulation and Parking Standards (Jan 2010)
- Biodiversity (Jun 2011)
- Infill Sites Design Guide (Apr 2011)
- Trees and Development (Mar 2007)
- Waste Collection and Storage Facilities (Mar 2007)
- Roath Park Lakes & Gardens Conservation Area Appraisal (2008)

Some SPGs were approved as supplementary guidance to the City of Cardiff Local Plan (1996). Although the City of Cardiff Local Plan (1996) has recently been superseded by the Cardiff Local Development Plan (2016), the advice contained within the SPGs is pertinent to the assessment of the proposal and remains consistent with the aims of both LDP Policies and guidance in Planning Policy Wales and are afforded significant weight.

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 The Operational Manager (Shared Regulatory Services) has been consulted no objection is raised to the application, however, it is requested that an advisory note is included drawing attention to the provisions of Section 60 of the Control of Pollution Act 1974 regarding the control of noise from demolition and construction activities.
- 5.2 The Councils Ecologist has been consulted and no objection has been raised to the proposal.
- 5.3 The Operational Manager (Traffic and Transportation) has been consulted and details that the car parking and cycle parking provisions and arrangements are acceptable.
- 5.4 The Operational manager (Housing Development) has been consulted and advises that an affordable housing contribution of 20% (1 unit) should be sought on this brownfield site. Whilst priority is to deliver on-site affordable housing given the proposed design of the scheme, the unknown proposed future tenure of the

units, and the likely service charges for this type of residential development, all of which could affect the affordability as well as the practicality of managing and maintaining affordable housing on-site for a Registered Social Landlord, a financial contribution in lieu of on-site affordable housing provision of £77,430 should be sought.

- 5.5 The Operational Manager (Drainage) has been consulted, no objections have been raised.
- 5.6 The Operational Manager (Waste Management) has been consulted and advises that the proposals for the storage of waste are acceptable.
- 5.7 The Councils Planner (Trees) has been consulted and advises that the scheme of landscaping and tree protection submitted with the application is acceptable.

6. EXTERNAL CONSULTEE RESPONSES

- 6.1 Welsh Water raise no objection to the proposal, but, advise that surface water and land drainage should not connect to the public sewerage system to avoid hydraulic overload of the system.

7. REPRESENTATIONS

- 7.1 The owner/occupiers of neighbouring properties have been consulted and the application advertised by way of site and press notice. Several letters of representation objecting to the proposal have been received a summary of the objections are detailed below:
- Proposal does not respect the character of the Conservation Area;
 - Neighbouring properties will suffer loss of sunlight/daylight and overshadowing;
 - Proposal represents overdevelopment of the site, particularly in relation to height;
 - Neighbouring occupiers will suffer overlooking and loss of privacy;
 - Inadequate parking provision will add to parking congestion and traffic problems;
 - The proposed drainage is to a stream of little capacity;
 - Proposal will have an adverse effect upon property values;
 - Proposal will intensify issues with foul sewer;
 - Issues regarding structural stability as a result of land movement from increased building size;
 - Query regarding the answer to Q.21 of the application form which states 'No' to whether the proposal involves the loss, gain or change of use of non-residential floorspace;
 - Query as to whether the proposal would have an effect upon 'high quality satellite television reception'.

8. ANALYSIS

8.1 Introduction

8.1.1 The application site lies within the defined settlement boundary and within an existing residential area, therefore, the principal of the development is considered acceptable and to accord with Policy KP3(B) of the Cardiff Local Development Plan. It should be noted that planning permissions have previously been granted for the redevelopment of the site.

8.1.2 The principal matters for consideration are:

- the effect of the proposal upon the character and appearance of the Conservation Area;
- the effect of the proposal upon the amenity of neighbouring occupiers;
- its transport impact;
- the effect on green infrastructure and landscaping proposals;
- affordable housing;
- sustainable design;
- the provision of waste management facilities.

8.1.3 The loss of the existing building are evaluated in detail in a separate application for Conservation Area Consent for demolition. In summary it is not considered that the existing building has any intrinsic quality that would merit its retention.

8.2 Impact Upon the Character of the Conservation Area

8.2.1 Policy KP5 requires all new development to be of a good quality that responds to local character and context and Policy EN9 details that development within Conservation Areas will only be permitted where it can be demonstrated that it preserves or enhances the areas architectural quality, historic significance, character, integrity and/or setting.

8.2.2 The proposed replacement building is of a broadly consistent scale and bulk as that of the previously approved scheme (11/00616/DCO), although the building would be one storey taller in part the overall height of the building would be only marginally higher than that which was approved at appeal (06/2181/DCO) and no taller than that of No. 39 Lady Mary Road. While the height of the building would be increased, it would be only marginally more prominent from within the conservation area given the reduced footprint of the upper floor.

8.2.3 The proposed design and materials would provide a contemporary building, broadly consistent with the previously approved scheme, and is considered to be of good design. The Conservation Area is not defined by any particular house type, the area having been developed on an incremental basis often to different house style and size although Render is a material characteristically utilised throughout the area. The proposed Render finish is complimentary of finishes throughout the area and overall the proposal is broadly consistent in terms of its design to a number of properties in the locality.

- 8.2.4 Full detail in respect of the means of enclosure fronting Lady Mary Road, which has significant potential for impacting the Conservation Area, and the entire site has not been submitted, however, it is considered that an appropriate means of enclosure can be secured by condition.
- 8.2.5 Accordingly, given that the building would not be overly prominent within the Conservation Area is of good design which is complimentary to the context of the area and given the previous approval it is considered, on balance, that the proposal is acceptable, subject to conditions, and would preserve the character of the Conservation Area according with Policies KP5, KP17 and EN9.

8.3 Amenity of Neighbouring Occupiers

- 8.3.1 Policy KP5 seeks to ensure that *'no undue effect on the amenity of neighbouring occupiers' results from new development.*
- 8.3.2 The footprint and siting of the proposed building would be largely consistent with that of the previously approved scheme barring a few minor alterations. These alterations would provide little additional bulk to the building and would, therefore, result in no greater overbearing or overshadowing impact upon neighbouring occupiers.
- 8.3.3 With regards to privacy it is recognised that north facing windows within the rear elevation are below the minimum level from both neighbouring boundaries and windows that is considered adequate to ensure privacy is retained, however, the means of glazing and opening to the north facing windows can be controlled by condition with west facing windows being unrestricted providing a view for occupiers of the proposed apartments over the application site at a distance from neighbours to the west that would be acceptable. The terrace to the fourth floor will be provided with privacy screens to restrict views to the north. With regards to windows and terraces to the side west facing elevation these are predominantly at a distance from the windows of the neighbouring properties considered adequate to protect privacy, whilst the first floor balcony falls marginally below this distance the privacy of neighbouring occupiers should not be unduly compromised. Whilst these west facing windows and terraces are within as little as 6m of the neighbouring boundary they directly overlook a parking area and, therefore, would not impact upon private amenity space.
- 8.3.4 Accordingly it is considered, on balance given the previous approvals, that the proposal would not be overbearing or generally un-neighbourly and would accord with the principles of Policy KP5.

8.4 Transport Impact

- 8.4.1 Policy T5 seeks to ensure *that all new developments properly address the demand for travel and its impacts, contributes to reducing reliance on the private car and avoids unacceptable harm to safe and efficient operation of the road, public transport and other movement network and routes.*
- 8.4.2 The parking standards for all residential development, contained within the

Access, Circulation and Parking Standards SPG, requires that a minimum of 0.5 and maximum of 2 car parking spaces are provided for 2 bedroom flats (C3). A total of 6 car parking spaces are proposed.

- 8.4.3 The parking standards further detail that 1 cycle space should be provided per bedroom. The proposal provides for an undercover and secure cycle store providing 5 spaces. This provision fails to accord with the minimum requirement, however, sufficient space is available within the curtilage of the application site to provide additional space for the storage of cycles and this can be secured through condition.
- 8.4.4 The proposed vehicular access to the site, for all intents and purposes, remains unaltered. Whilst there is likely to be a marginal increase in vehicular movements as a result of the proposed development it is not considered that there would be any adverse impact upon highway safety.
- 8.4.5 Accordingly it is considered that the proposal accords with the principles of Policy T5 and guidance within the Access Circulation and Parking SPG.

8.5 Green Infrastructure and Landscaping

- 8.5.1 Policies KP5 & KP16 promotes the protection and enhancement of Cardiff's natural heritage and green infrastructure whilst Policy EN8 details that development will not be permitted that would cause unacceptable harm to trees, woodlands and hedgerows.
- 8.5.2 The proposal is supported by detailed reports in respect of trees, hedges and landscaping which are considered acceptable.
- 8.5.3 Accordingly it is considered that, subject to conditions, the proposal accords with the principles of Policies KP5, KP16 and EN8.

8.6 Affordable Housing

- 8.6.1 Policy H3 details that a 20% affordable housing contribution will be sought on all brownfield sites that contain five or more dwellings.
- 8.6.2 The proposal will result in the creation of a new planning unit, resulting in the loss of the existing unit, consisting of five new dwellings and, therefore, is considered to trigger the requirement for contribution. For the reasons detailed at para. 5.4 a financial contribution, secured by S.106 agreement, is considered the most suitable method of contribution.
- 8.6.3 Accordingly the proposal is considered acceptable subject to a financial contribution of £77,430 being paid to comply with Policy H3.

8.7 Sustainable Design

- 8.7.1 Policy KP5 requires all development to be of sustainable design which is supported by a number of other policies including Policies KP15 and EN10.

- 8.7.2 The proposal will result in the construction of a new building which will be required to comply with current regulations in respect of energy efficiency. This is likely to result in a more sustainable building that currently exists.
- 8.7.3 In addition it is detailed that the viability of using a range of renewable energy technologies will be explored and materials used from sustainable sources.
- 8.7.4 In respect to Policy EN10 which requires water sensitive design solutions to be incorporated in new development it is proposed that a Rainwater Harvesting System, with overflow discharged to an existing watercourse, will be utilised. Welsh Water have detailed that surface water discharge to the public sewer will not be permitted in order to protect the public sewerage system and, therefore, it is considered for this reason and to ensure that the proposal is of a water sensitive design that this proposed system should be required by condition.
- 8.7.5 Accordingly, given the proposal is of a sustainable design incorporating water sensitive solutions with prospect of further renewable energy technologies being utilised, it is considered that the proposal complies with Policies KP5, KP15 and EN10 and is of an acceptable sustainable design.

8.8 Waste Management

- 8.8.1 Policy W2 seeks to ensure that provision is made within all new development for the storage of waste and recycling.
- 8.8.2 The proposal originally included a dedicated communal waste storage area that would be easily accessible to residents and for presentation of waste to kerbside. However, this location has been altered to a position where access could be impeded by vehicles parked within the proposed car parking spaces. It is, however, evident that a refuse store could be adequately provided within the site and this can be secured by condition.
- 8.8.3 Accordingly it is considered that, subject to condition requiring implementation, the proposal accords with the principles of Policy W2.

8.9 Additional Matters

- 8.9.1 With regards to comments made by neighbours which are not addressed elsewhere the following should be noted:
- It is only proposed to discharge excess water, at a low rate via an attenuation tank, which overflows from a Rain water Harvesting Sustainable Drainage System;
 - Property values are not a material planning consideration;
 - Discharge to the Foul Sewer is not a direct planning matter. Welsh Water have been consulted and have raised no objection upon this basis;
 - The structural stability of buildings is a matter for consideration under the Building Regulations and is not a material planning consideration;
 - Q.21 of the application form relates to 'non-residential floorspace', the existing

floorspace is residential and the proposed floorspace is residential. There is no loss, gain or change of use of non-residential floorspace and the question appears to be answered correctly;

- The owner of 76 Lake Road East queries the impact the proposal may have upon his satellite reception. Advice published by Ofcom. 'Tall Structures and their Impact on Broadcast and other Wireless Services' (26/08/2009) details that LPAs should give consideration to such matters, however, the same advice details that satellite reception is not generally affected by new structures unless the development blocks 'line-of-sight' between the dish and satellite. Satellite signal can be received at a much higher elevation than other signals and the potential for signal being totally blocked is limited to tall buildings constructed 'very close' to an existing building and is a good option to be considered when other signals may be blocked. It is noted that the building of 76 Lake Road East is sited at a minimum of 15m from the boundary of the application site and it is considered unlikely that a satellite dish could not be sited on a part of the two storey building such that 'line-of-sight' to the satellite could not be established over a building of only four stories that is set a considerable distance away. On balance it is not considered that there would be substantial evidence to suggest satellite signal may be blocked to warrant control by the Local Planning Authority.

8.10 Conclusion

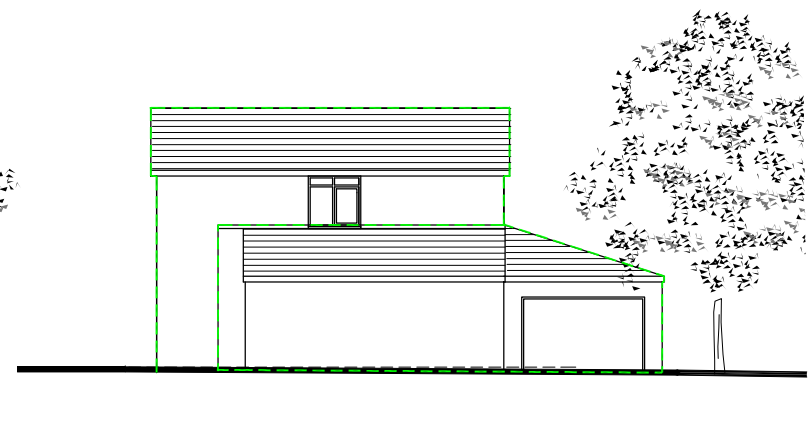
- 8.10.1 Having regard to the policy context above, the proposal is considered acceptable and it is recommended planning permission be granted subject to conditions.



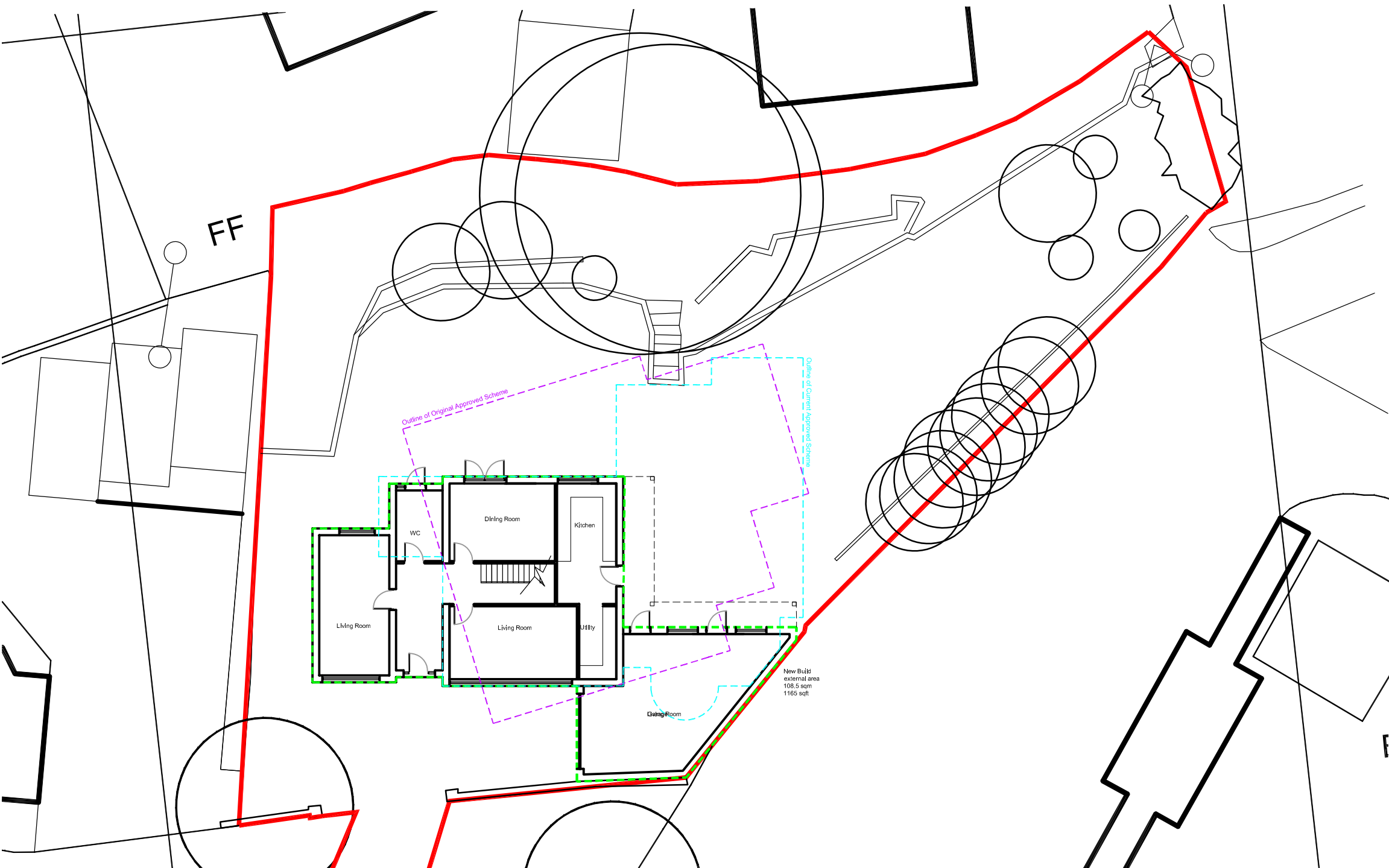
Front Elevation



Rear Elevation



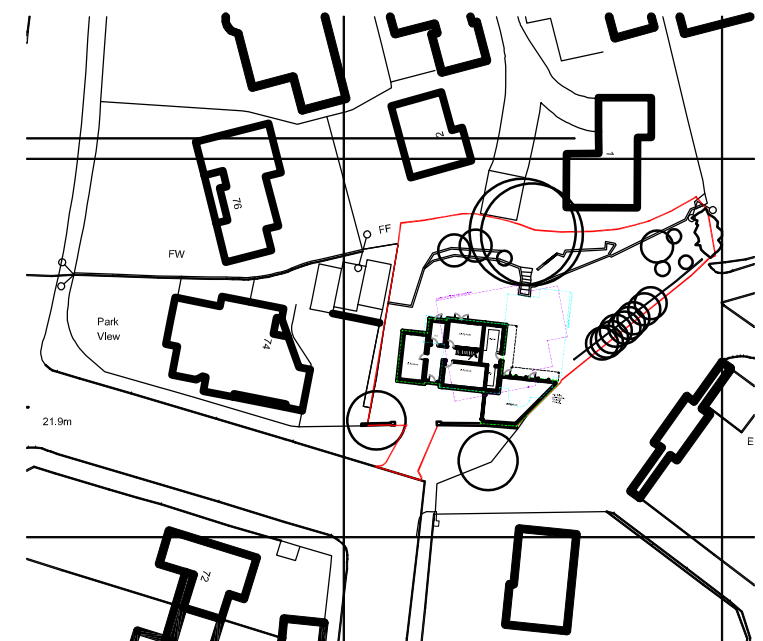
Side Elevation



Ground Floor Plan



Side Elevation



Site Plan

Area to be demolished

Proposed Residential Building
40 Lady Mary Road, Lakeside
Mr & Mrs Ciocca

Job No.
10_66
Dwg No.
AL(00)01
Rev.

Title
Existing Plans & Elevations

Date
15/11/16

Drawn
MC

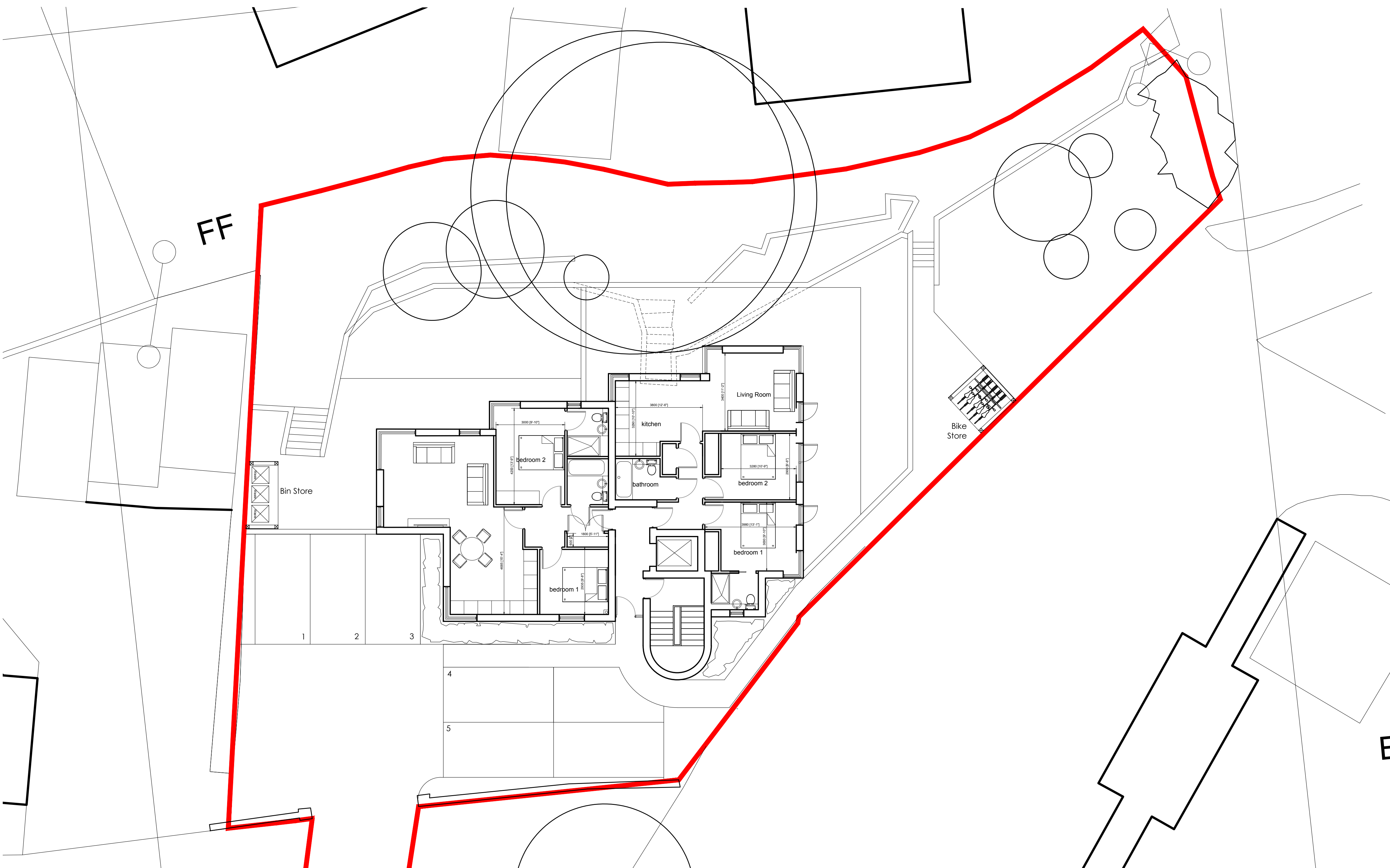
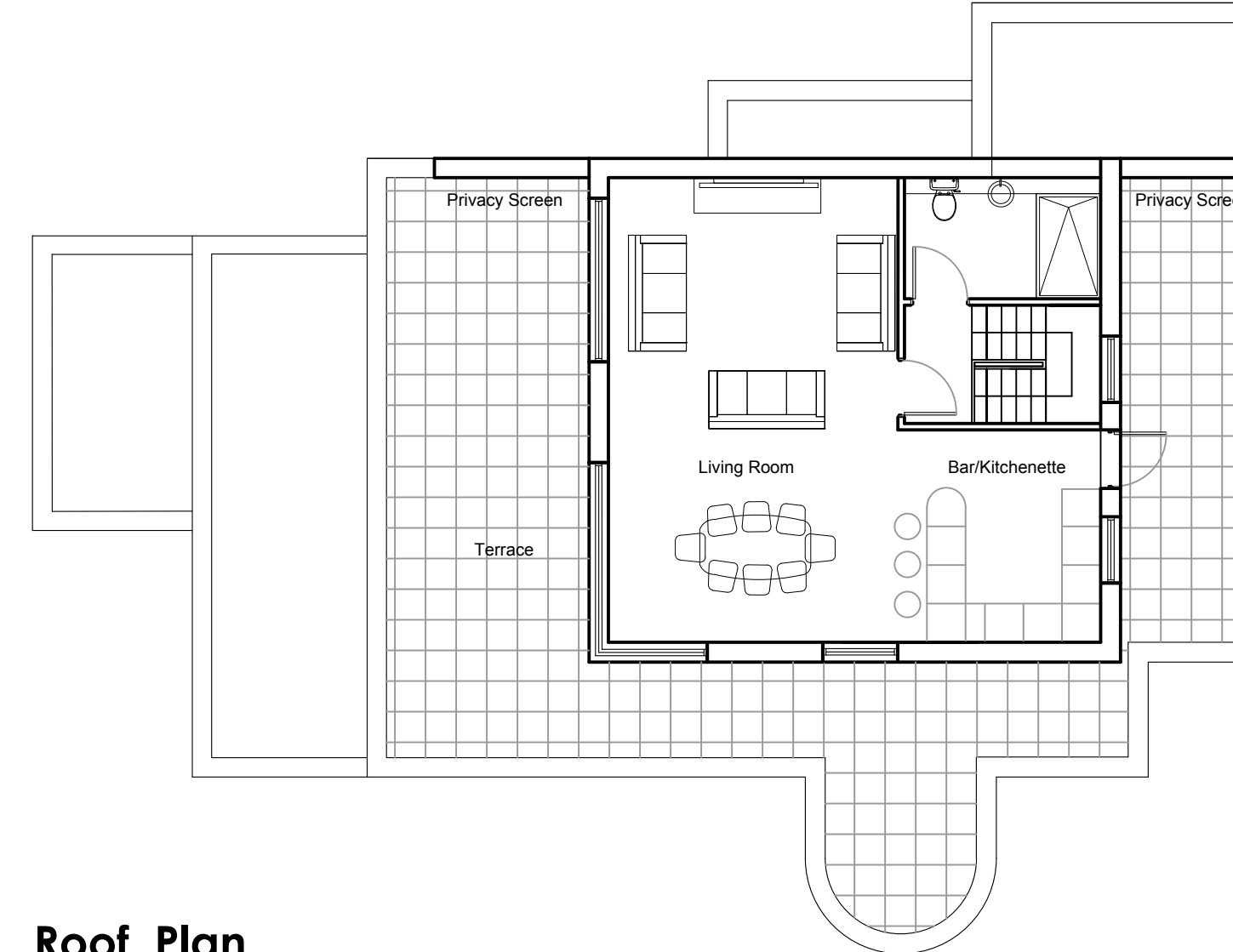
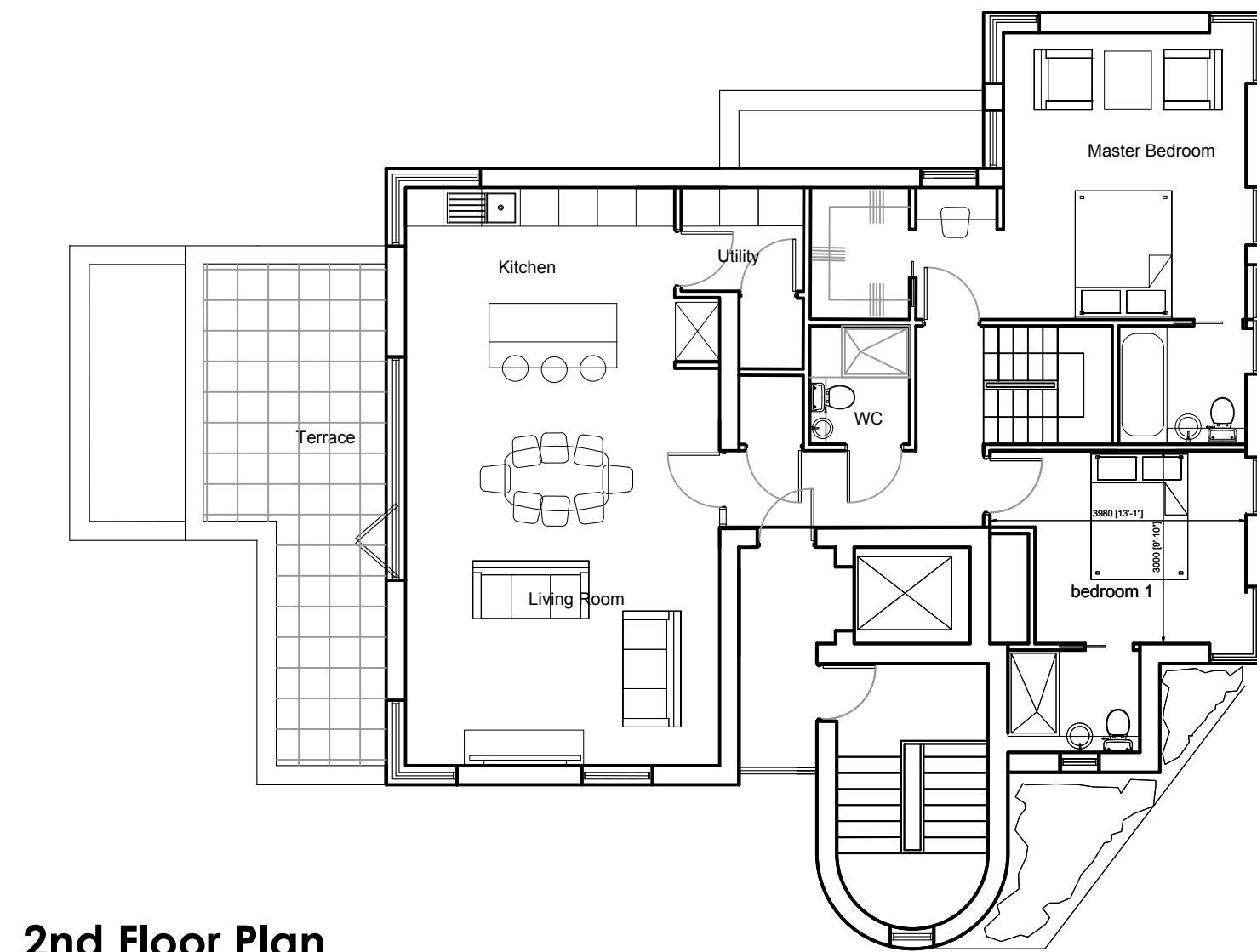
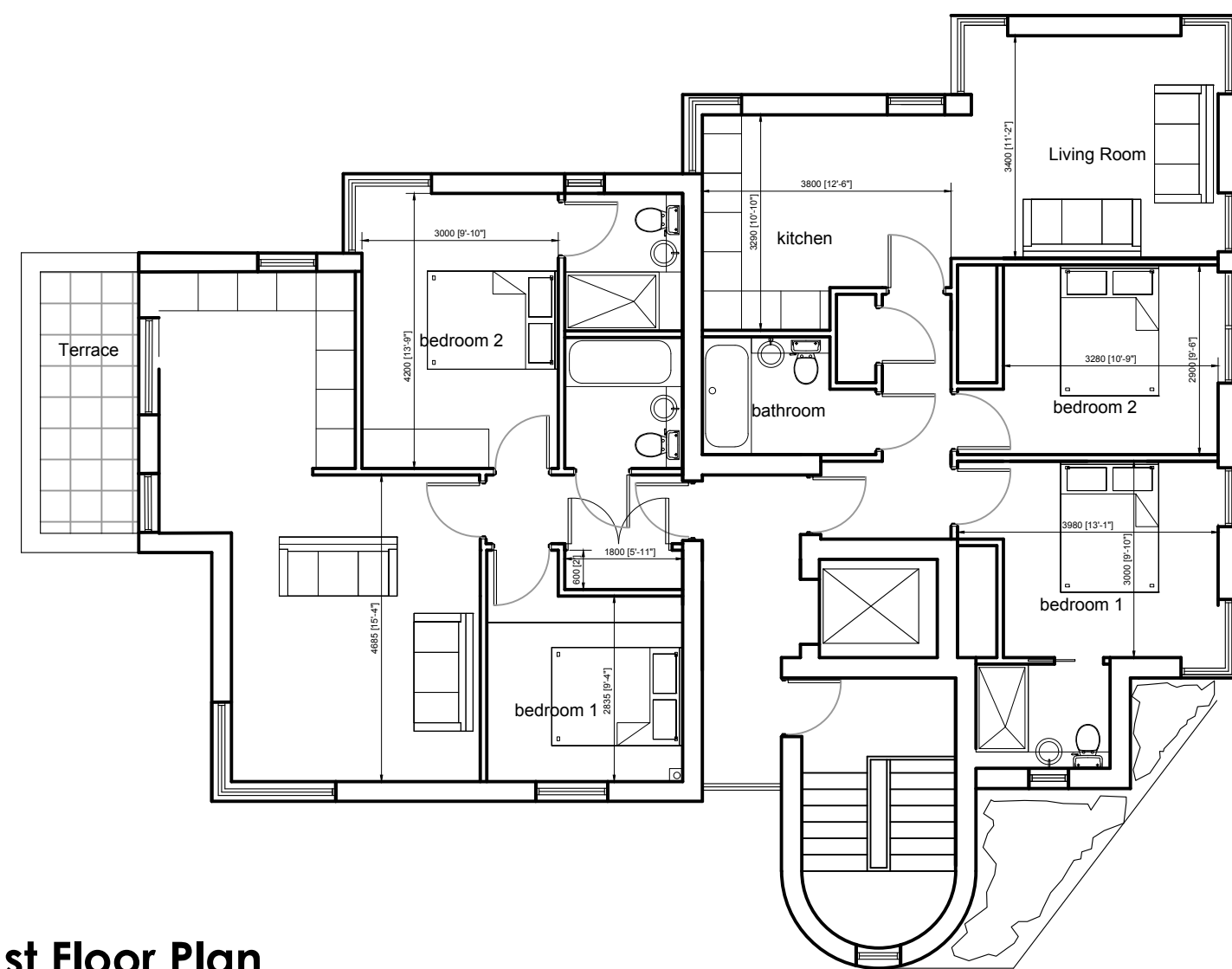
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Unit 1A, Compass Business Park,
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EI Sub S



Side Elevation



Rear Elevation

Front Elevation



Side Elevation

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COMMITTEE DATE: 21/06/2017

APPLICATION No. **16/03050/MNR** APPLICATION DATE: 19/01/2017

ED: **PENYLAN**

APP: TYPE: Conservation Area Consent

APPLICANT: Mr & Mrs Ciocca

LOCATION: 40 LADY MARY ROAD, PENYLAN, CARDIFF, CF23 5NT

PROPOSAL: PROPOSED DEMOLITION OF EXISTING DWELLING

RECOMMENDATION 1: That Conservation Area Consent be **GRANTED** subject to the following conditions:

1. C05 Statutory Time Limit – Conservation Area Consent (5 years)
2. No demolition shall commence until such time as a contract for the carrying out of the works of redevelopment of the site has been made and full planning permission has been granted for the re-development for which the contract provides.
Reason: In the interests of the visual amenity of the area in accordance with Section 17(3) of the Planning (Listed Buildings & Conservation Areas) Act 1990 and advice contained at para. 34 of Welsh Office Circular 61/96.

RECOMMENDATION 2: Bats often roost in houses and other buildings, and work on these buildings may disturb a bat roost. All bats and their roosts are protected against disturbance under UK and European legislation. If works are planned on a building in which bats are known to be roosting, Natural Resources Wales (NRW) must be contacted for advice. If bats are found after work has commenced, or if any evidence that bats are using the site as a roost is found, work should cease and NRW should be contacted immediately. Where there is a likelihood that bats are present, or where bats are found to be present, a suitably qualified and experienced ecological consultant should be contracted to provide an assessment of the impact of the proposed works, and undertake bat surveys if necessary. Where bats or their roosts are present, no works of site clearance, demolition or construction should take place unless a licence to disturb these species and/or their roosts has been granted in accordance with the relevant legislation.

NRW can be contacted at:

Natural Resources Wales, Tŷ Cambria, 29 Newport Road, Cardiff CF24 0TP, 0300 065 3000

Bat Conservation Trust can be contacted at:

5th Floor, Quadrant House, 250 Kennington Lane, London, SE11 5DR, 0845 1300228

RECOMMENDATION 3: To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of

Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

1. DESCRIPTION OF THE SITE

- 1.1 The existing property comprises a 1960's detached two-storey dwelling with single-storey extensions and a landscaped rear garden with retaining walls to the north boundary where a watercourse runs towards the nearby lake.
- 1.2 The rear garden is approximately 2.8m above the rear gardens of 1 and 2 Scott Court, which adjoin the site to the north. A lime tree of significant height is located adjacent to the north site boundary.
- 1.3 The site is located within the Roath Park Lake and Gardens Conservation Area. The southeast boundary of the site forms the boundary of this part of the conservation area.
- 1.4 The plots either side of the application site accommodate three-storey apartment buildings.
- 1.5 Lady Mary Road ascends sharply to the south and descends to the west towards the lake. The southeast boundary of the site adjoins the entrance to allotments.

2. DESCRIPTION OF PROPOSED DEVELOPMENT

- 2.1 Conservation Area Consent is sought for the demolition of the existing dwelling in order to facilitate a new 4 storey residential development.
- 2.2 Conservation Area Consent is required for the substantial demolition of any unlisted building within a Conservation Area by virtue of Sec. 74 of The Planning (Listed Building and Conservation Areas) Act 1990.
- 2.3 The merits of the proposed replacement development are considered in full in a separate application for planning permission (ref: 16/03049/MNR).

3. PLANNING HISTORY

- 3.1 06/02261/E - Conservation Area Consent granted, in April 2007, for demolition of existing dwelling and attached garage.
- 3.2 06/02181/E - Permission granted by the Planning Inspectorate, in September 2007, for the demolition of existing 4 bed house and garage and the construction of 3 no. 3 bed apartments over 3 garages, having originally been refused permission by the local planning authority in April 2007

- 3.3 06/01151/E - Permission sought, in May 2006, for demolition of detached dwelling and the construction of three 2/3 bedroom apartments. Withdrawn prior to determination.
- 3.4 11/00616/DCO - Permission granted, in August 2011, for the demolition of existing dwelling and alterations, extension and construction of 3 storey residential development comprising 4 apartments with on-site car parking, cycle storage, refuse storage and amenity space.
- 3.5 11/00620/DCO – Conservation Area Consent granted, in August 2011, for part demolition of existing dwelling.

4. LEGISLATION & POLICY FRAMEWORK

- 4.1 Legislation
- The Planning (Listed Building and Conservation Areas) Act 1990
- 4.2 National Planning Policy & Guidance
- Planning Policy Wales (9th Ed, 2016)
 - Welsh Office Circular 61/96 & 1/98 Planning and the Historic Environment
 - Technical Advice Note 12: Design (2016)
- 4.3 Cardiff Local Development Plan 2006-2026 (2016)
- Policy KP5 (Good Quality & Sustainable Design)
 - Policy KP17 (Built Heritage)
 - Policy EN7 (Priority Habitats and Species)
 - Policy EN8 (Trees, Woodlands and Hedgerows)
 - Policy EN9 (Conservation of the Historic Environment)
 - Policy EN13 (Air, Noise, Light Pollution and Contaminated Land)
- 4.4 Supplementary Planning Guidance
- Roath Park Lakes & Gardens Conservation Area Appraisal (2008)

5. INTERNAL CONSULTEE RESPONSES

- 5.1 The Operational Manager (Building Control) has no comments to make on the application.
- 5.2 The Operational Manager (Shared Regulatory Services) has been consulted no objection is raised to the application, however, it is requested that an advisory note is included drawing attention to the provisions of Section 60 of the Control of Pollution Act 1974 regarding the control of noise from demolition and construction activities.
- 5.3 The Councils Ecologist has been consulted and no objection has been raised to the proposal.
- 5.4 The Operational Manager (Traffic and Transportation) has been consulted and raises no objection to the proposal.

6. EXTERNAL CONSULTEE RESPONSES

6.1 None

7. REPRESENTATIONS

7.1 The owner/occupiers of neighbouring properties have been consulted and the application advertised by way of site and press notice. Several letters of representation objecting to the proposal have been received, however, these objections are not explicitly relevant to the demolition of the existing building and are evaluated within the application for planning permission.

8. ANALYSIS

8.1 The Local Planning Authority are required by virtue of Sec. 72 of The Planning (Listed Buildings and Conservation) Areas Act 1990 to pay special attention to the desirability of preserving or enhancing the character or appearance of a Conservation Area and that proposals to demolish such buildings should be assessed against the same broad criteria as proposals to demolish Listed Buildings.

8.2 The general criteria relevant to the consideration of all listed building consent applications relate to the importance of the building, its intrinsic architectural and historic interest and rarity; the particular physical features of the building; the building's setting and its contribution to the local scene; and the extent to which the proposed works would bring substantial benefits for the community, in particular by contributing to the economic regeneration of the area or the enhancement of its environment.

8.3 In respect of the 'broad criteria' forming part of the assessment of the demolition of Listed Buildings mentioned above. Section 91 of Welsh Office Circular 61:96 confirms that the Secretary of State would not expect consent to be given for demolition simply because redevelopment is economically more attractive to the developer than repair and re-use of a historic building; and advises that the following should be taken into consideration:

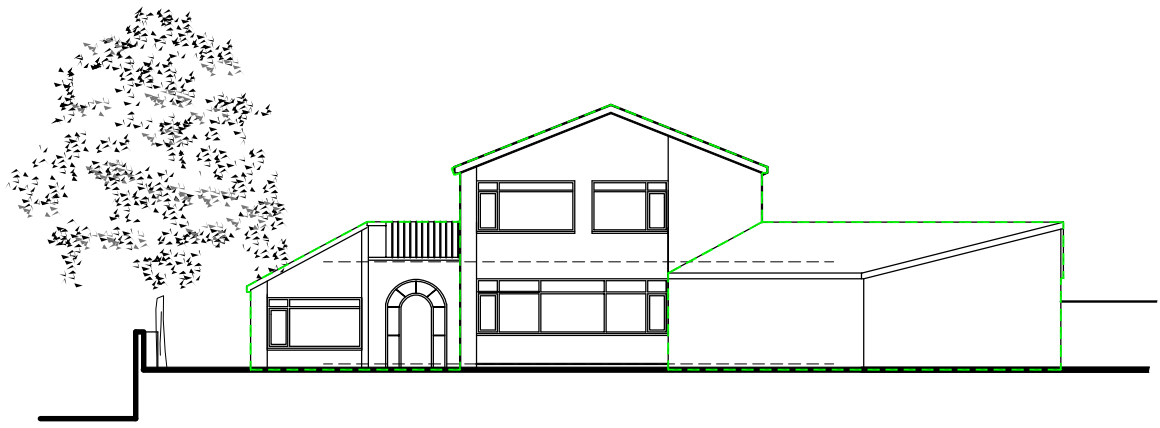
- (i) the condition of the building, the cost of repairing and maintaining it in relation to its importance and to the value derived from its continued use;
- (ii) the adequacy of efforts made to retain the building in use. (Including the offer of the unrestricted freehold of the building on the open market at a price reflecting the building's condition;
- (iii) the merits of alternative proposals for the site.

8.4 It should, however, be noted despite the general and broad principles referenced that in the case of Conservation Areas special regard is to be had to the preservation of the character of the area as opposed to the preservation of building fabric, as is the case in relation to a Listed Building.

8.5 The principle of the demolition of the this building has previously been

established, through grants of Conservation Area Consent for Demolition in 2007 and 2011, as it does not make a positive contribution to the character or appearance of the Conservation Area. The demolition of the existing dwelling and its replacement with an appropriate replacement would be considered acceptable.

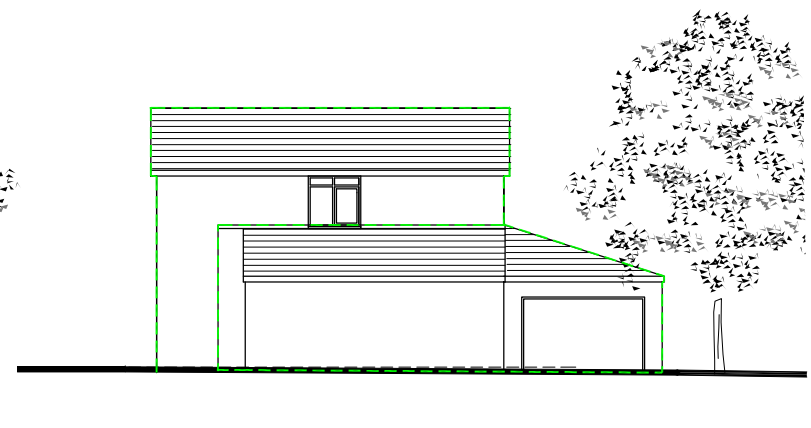
- 8.6 Full details of the replacement dwelling proposed have been provided. The replacement development, while being of a greater scale, represents good quality architecture.
- 8.7 On the basis that that the existing building provides no intrinsic contribution to the Conservation Area and given the good architectural quality of the proposed replacement building it is considered that the proposal would result in an enhancement to the Conservation Area.
- 8.8 In situations where harm would be caused to the character and appearance to the Conservation Area if site redevelopment did not occur it is considered necessary to impose conditions restricting demolition, as detailed at para. 34 of Welsh Office Circular 61/96, that the building should not be demolished until such time as a contract for redevelopment of the site and/or planning permission has been granted.
- 8.9 The Local Planning Authority may also control demolition so far as it relates to the method of demolition and site restoration. In respect of the latter a detailed scheme of redevelopment is proposed. In respect of the former given the scale of the demolition relative to the scale of the site it is considered that demolition could be adequately managed without stringent controls imposed by the Local Planning Authority, the provisions of the Control of Pollution Act 1990 are pertinent in controlling noise and nuisance from demolition activities in the interest of the amenity of neighbouring residents.
- 8.10 It is recommended that Conservation Area Consent be granted for demolition of the building.



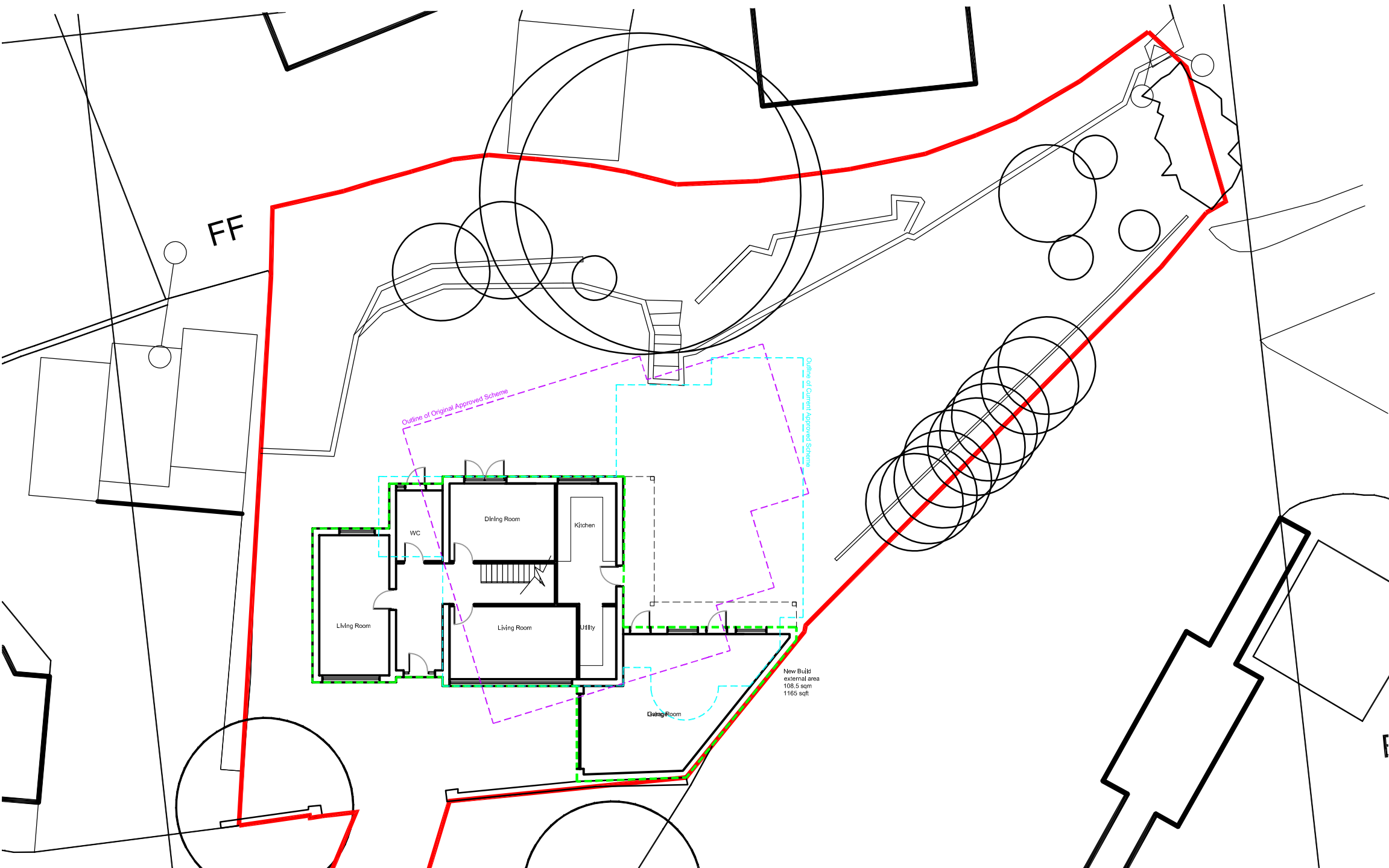
Front Elevation



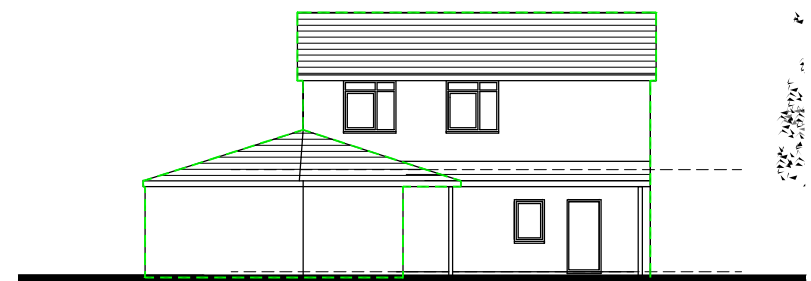
Rear Elevation



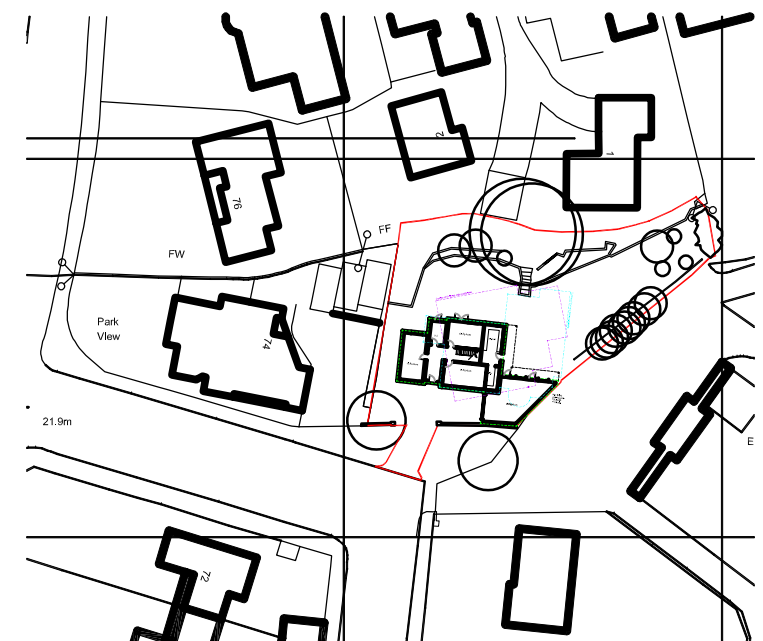
Side Elevation



Ground Floor Plan



Side Elevation



Site Plan

Area to be demolished

Proposed Residential Building
40 Lady Mary Road, Lakeside
Mr & Mrs Clocca

Job No.
10_66

Rev.
AL(00)01

Title
Existing Plans & Elevations

Date
15/11/16

Drawn
MC

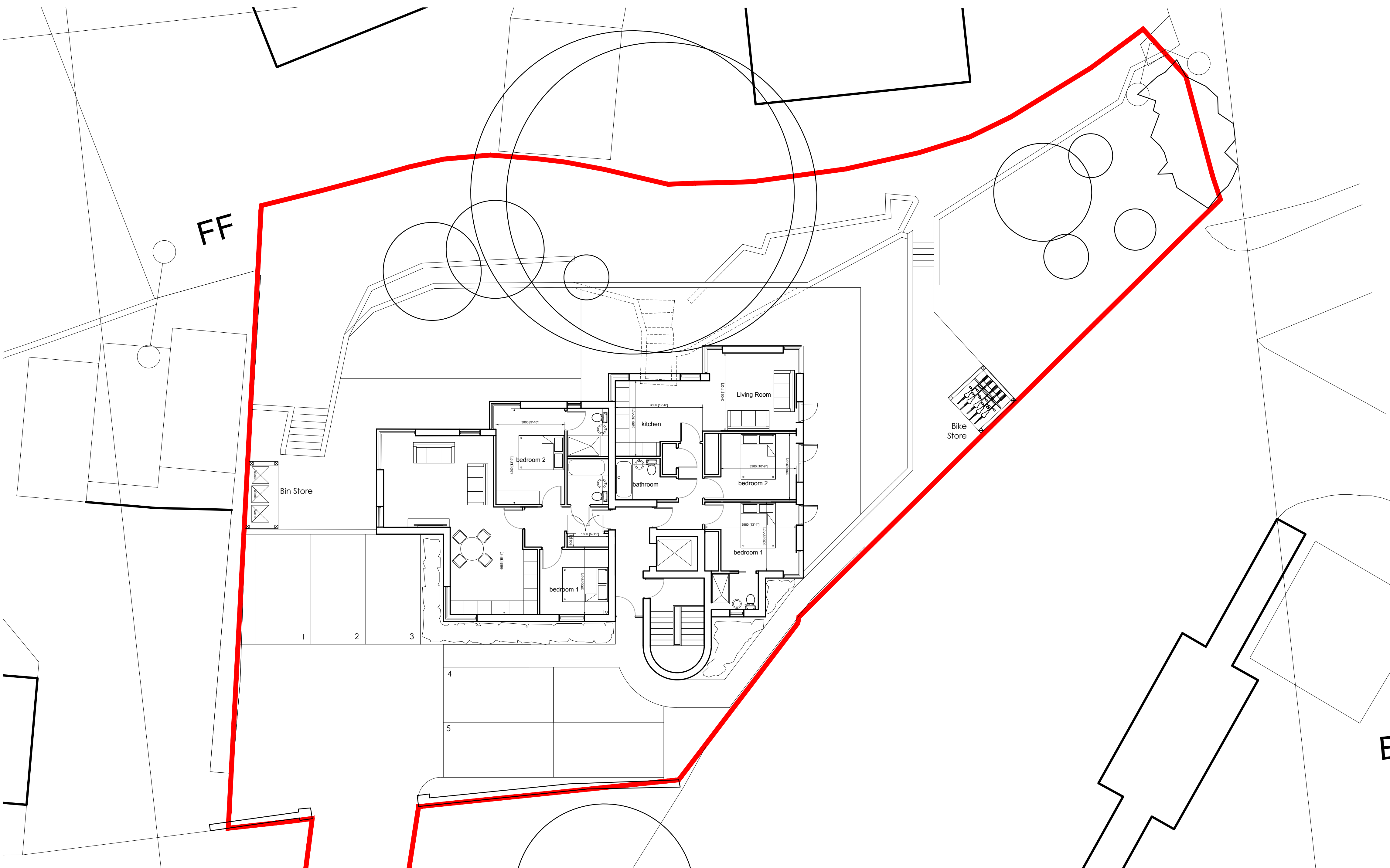
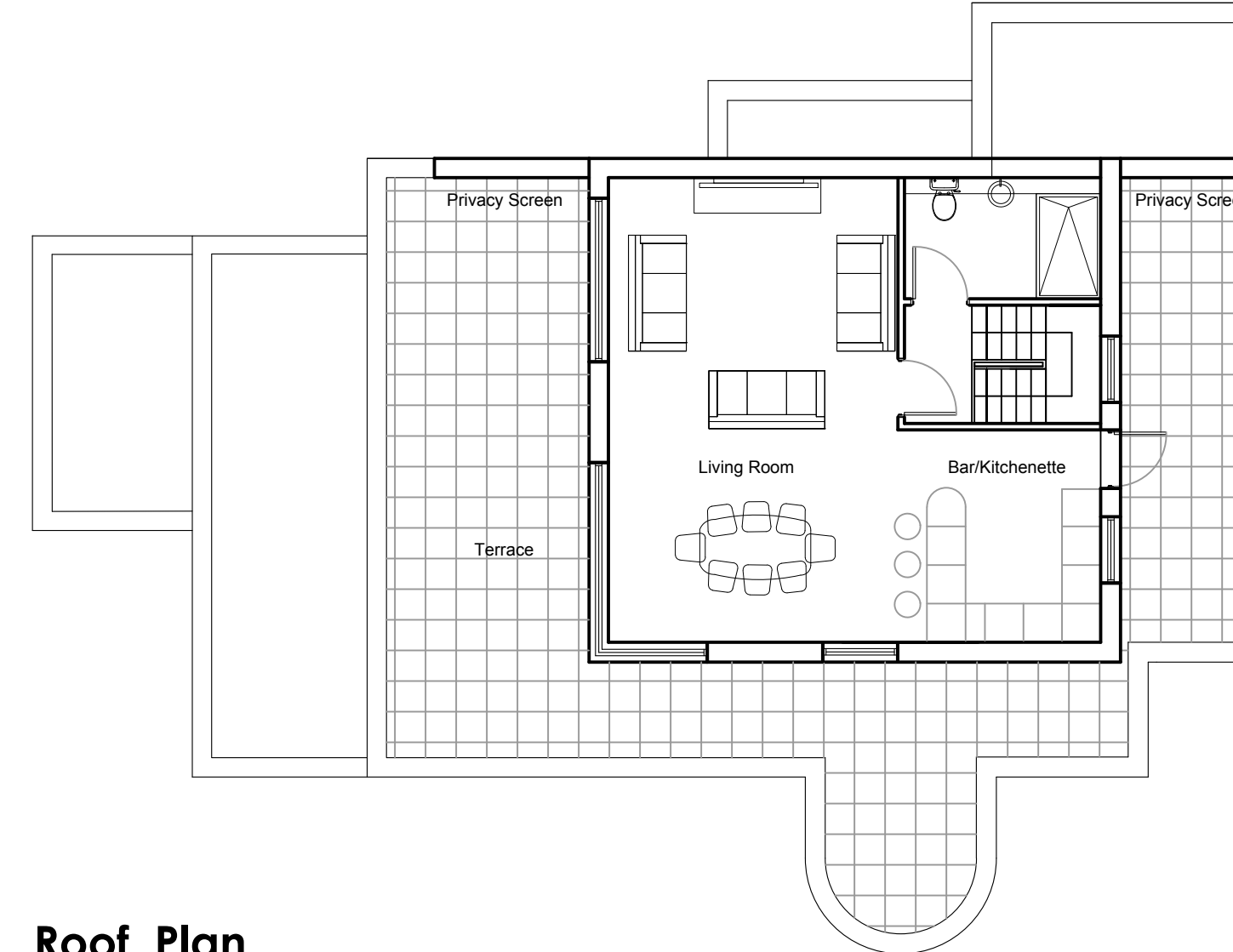
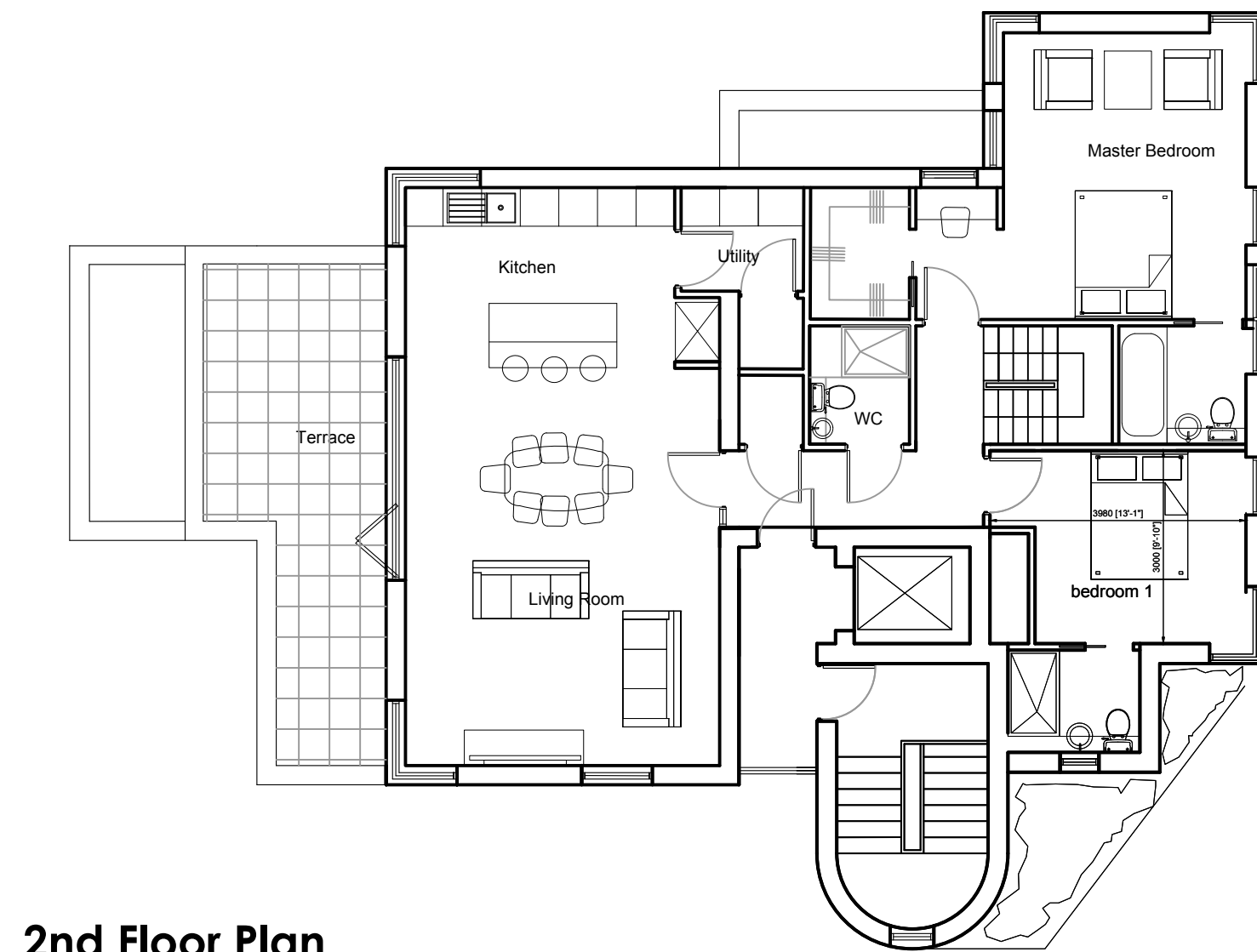
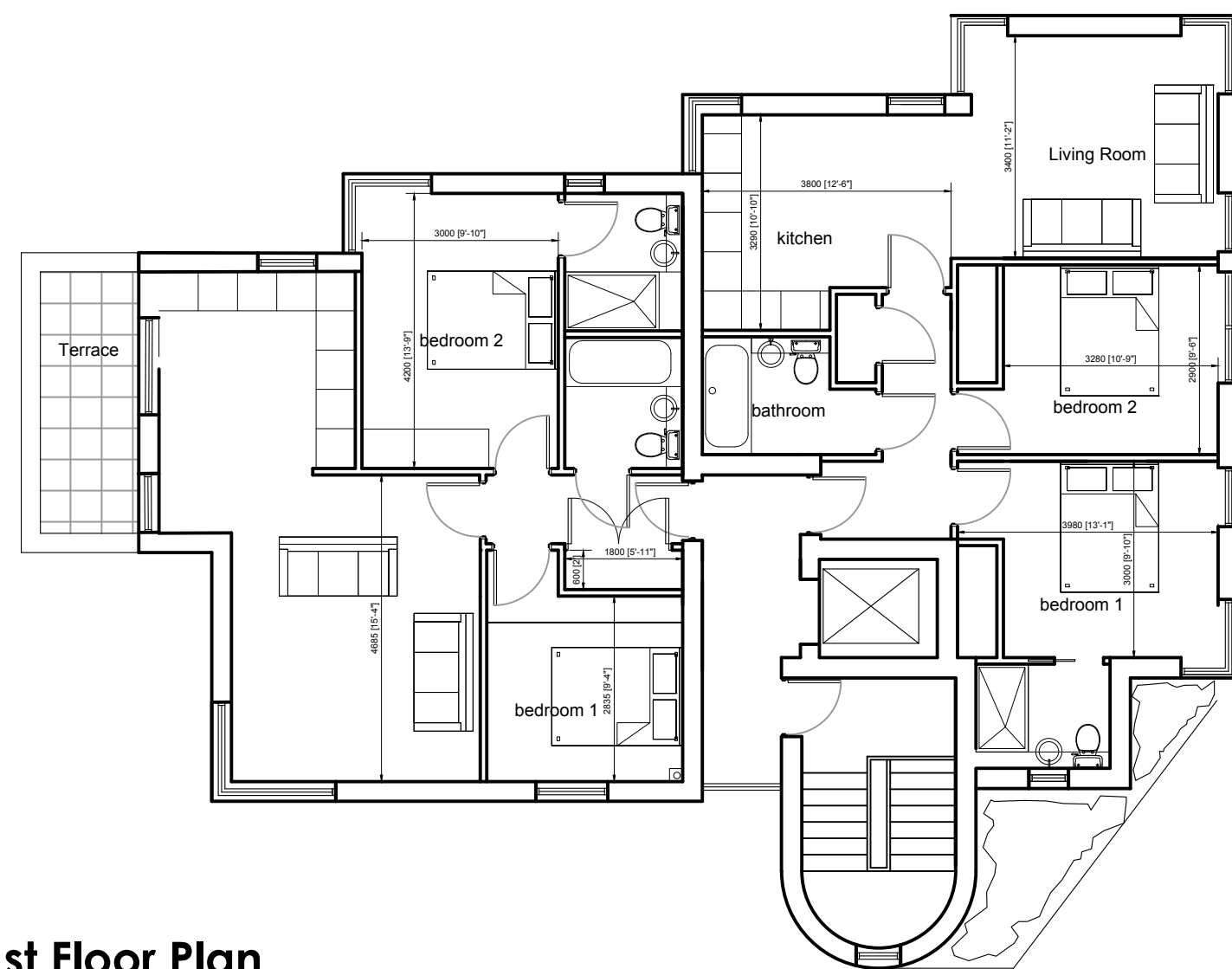
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EI Sub S



Front Elevation



COMMITTEE DATE: 21/06/2017

APPLICATION No. **16/03065/MJR** APPLICATION DATE: 19/01/2017

ED: **GRANGETOWN**

APP: TYPE: Full Planning Permission

APPLICANT: Wales & West Housing Association Ltd

LOCATION: ST PAULS CHURCH, LLANMAES STREET, GRANGETOWN, CARDIFF, CF11 7LR

PROPOSAL: CHANGE OF USE OF PART OF EXISTING CHURCH BUILDING FROM PLACE OF WORSHIP TO NEW RESIDENTIAL APARTMENTS (SMALLER PLACE OF WORSHIP RETAINED WITHIN BUILDING), CONSTRUCTION OF 2 NR NEW 2 BEDROOM SEMI-DETACHED HOUSES, CONSTRUCTION OF NEW EXTENSION BETWEEN EXISTING CHURCH VESTRY AND PARISH HALL TO PROVIDE NEW ENTRANCE TO CHURCH, CONSTRUCTION OF NEW CYCLE AND BIN STORE STRUCTURE, ADAPTATION OF EXISTING SITE PERIMETER FENCING TO PROVIDING ACCESS TO NEW HOUSES AND NEW CHURCH ENTRANCE, ALTERATIONS TO EXISTING LANDSCAPING TO ACCOMMODATE NEW CIRCULATION PATHS, ENCLOSED LANDSCAPE AMENITY SPACE FOR USE BY APARTMENT RESIDENTS AND FORECOURT APPROACH TO NEW CHURCH ENTRANCE, LBC APPLICATION FOR THE CONVERSION OF THE EXISTING CHURCH AISLES AND NAVE INTO 12 NEW APARTMENTS, REPLACEMENT OF 8 NR EXISTING WINDOWS IN AISLES AND CREATION OF 8 NR NEW WINDOW OPENINGS SERVING NEW APARTMENTS, ALTERATION OF EXISTING CHURCH CHANCEL TO CREATE NEW FLAT-FLOORED WORSHIP SPACE

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding planning obligation in agreement with the Council under **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 8.20 of this report, planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The consent relates to the following approved plans:

<i>Dwg. No.</i>	<i>Title</i>
L(90)001	Site Location Plan
L(90)100	Site Plan
L(90)150B	Site Layout

L(00)100A	Ground Floor Apartment Plan
L(00)101	First Floor Apartment Plan
L(00)102	Second Floor Apartment Plan
L(00)103	Roof Plan
L(00)200	Sections A-A & B-B
L(00)201	Section C-C
L(00)202	Section D-D
L(00)203	Section E-E
L(00)204	Section F-F & G-G
L(00)300A	North Elevation
L(00)301A	West Elevation
L(00)302A	South Elevation
L(00)303A	East Elevation
L(00)150	Chancel and New Entrance Plan
L(00)151	Chancel Internal Elevations
L(00)501B	Link Building – Ground & Roof Plans
L(00)520B	Link Building – Elevations & Sections
L(00)900	Bin & Cycle Store Plans, Sections & Elevations
L(00)700	Houses Ground Floor Plans
L(00)701	Houses First Floor Plans
L(00)702	Houses Second Floor Plans
L(00)720	Houses Section
L(00)730A	Houses Elevations

Reason: For the avoidance of doubt.

3. No above-ground development shall take place until samples of the external finishing materials for the link building and the houses have been submitted to and approved by the Local Planning Authority and the development shall not be brought into beneficial use until the approved scheme is implemented.
Reason: To ensure a satisfactory finished appearance to the development.
4. No above-ground development shall take place until a scheme showing the architectural detailing of the principal elevations of the link building and the houses has been submitted to and approved in writing by the LPA and the development shall not be brought into beneficial use until the approved scheme is implemented.
Reason: To ensure a satisfactory finished appearance to the building.
5. Prior to beneficial occupation of the two semi-detached houses the approved conversion works to the listed St Paul's Church shall have reached certified practical completion.
Reason: To ensure that the houses are not developed in isolation and that the listed building is repaired and brought into beneficial use.
6. *Highway Works:* Prior to beneficial occupation the redundant vehicle crossover on St Fagans Street shall be removed and reinstated as footway.

Reason: To facilitate the reinstatement of the adjacent public highway in the interests of highway and pedestrian safety.

7. *Construction Management Plan:* Prior to commencement of development a scheme of construction management shall be submitted to and approved by the Local Planning Authority, to include details of construction traffic routes, site hoardings, site access, contractor parking and wheel washing facilities. Construction of the development shall be managed strictly in accordance with the scheme so approved.

Reason: In the interests of highway safety and public amenity.

8. No development shall take place until a scheme for the drainage of the site and any connection to the existing drainage system has been submitted to and approved in writing by the LPA. The scheme shall include an assessment (based on permeability testing) of the suitability of the site for draining surface water by sustainable means. The scheme shall be implemented in accordance with the approved details.

Reason: To prevent hydraulic overloading of the public sewerage system and ensure an orderly form of development.

9. *Ground Gas Protection Measures:* Prior to the commencement of any development works a scheme detailing the appropriate gas protection measures that are required to ensure the safe and inoffensive dispersal or management of gases and to prevent lateral migration of gases into or from land surrounding the application site has been submitted to and approved by the Local Planning Authority, in writing to the LPA. All required gas protection measures shall be installed and appropriately verified before occupation of any part of the development which has been permitted and the approved protection measures shall be retained and maintained until such time as the Local Planning Authority agrees in writing that the measures are no longer required.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

10. *Contaminated Land Measures – Assessment:* Prior to the commencement of the development an assessment of the nature and extent of contamination shall be submitted to and approved in writing by the Local Planning Authority. This assessment shall assess any contamination on the site, whether or not it originates on the site. The report of the findings shall include:

- An intrusive investigation to assess the extent, scale and nature of contamination which may be present, if identified as required by the desk top study.
- An assessment of the potential risks to: human health; groundwater and surface waters; adjoining land, property (existing or proposed); archaeological sites and ancient monuments; and
- An appraisal of remedial options, and justification for the preferred remedial option(s).

Reason: To ensure that information provided for the assessment of the

risks from land contamination is sufficient to enable a proper assessment in accordance with policy EN13 of the Cardiff Local Development Plan.

11. *Submission of Remediation Scheme and Verification Plan:* Prior to the commencement of the development a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment, shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures.
Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.
12. *Undertaking of Remediation and Issue of Verification Report:* The remediation scheme as approved by the LPA must be fully undertaken in accordance with its terms prior to the occupation of any part of the development unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works. Within 6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be submitted to and approved in writing by the Local Planning Authority.
Reason :To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.
13. *Identification of Unsuspected Contamination:* In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be

agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

14. *Imported soil:* Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation to be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes. Subject to approval of the above, verification sampling of the material received at the development site is required to verify that the imported soil is free from contamination and shall be undertaken in accordance with a scheme agreed with in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced.

15. *Imported aggregates:* Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation to be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes. Subject to approval of the above, verification sampling of the material received at the development site is required to verify that the imported aggregate is free from contamination and shall be undertaken in accordance with a scheme agreed with in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced.

16. *Use of site-won materials:* Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.

Reason: To ensure that the safety of future occupiers is not prejudiced.

17. A scheme of sound insulation works to the party wall structure between the apartments on the first floor and the boiler/plant room and the apartments on the second floor and the boiler/plant room shall be submitted to and agreed in writing by the LPA and implemented prior to occupation.

Reason: To protect the amenity of future occupiers.

18. *Tree protection:* No development shall take place until an AMS detailing the methods to be used to prevent loss of or damage to retained trees within and bounding the site, and a Tree Protection Plan (TPP) in the form of a scale drawing showing the finalised layout and the tree and landscaping protection methods detailed in the AMS have been submitted to and approved in writing by the Local Planning Authority. The AMS shall include details of site monitoring of tree protection and tree condition by a qualified arboriculturist, undertaken throughout the development and after its completion, to monitor tree condition. The scheme shall be carried out in accordance with the approved details.

Reason: To protect existing trees in the interests of visual amenity.

19. No above ground development shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the Local Planning Authority. These details shall include proposed finished levels, earthworks, hard surfacing materials, proposed and existing services above and below ground level, planting plans (including schedules of plant species, sizes, numbers or densities, and in the case of trees, planting, staking, mulching, protection, soil protection and after care methods) and an implementation programme. The scheme shall be informed by a basic soil assessment and carried out in accordance with the approved details.

Reason: To ensure adequate amenity for future occupiers.

20. C4R Landscaping Implementation

RECOMMENDATION 2: The applicant is advised that the highway works condition and any other works to existing or proposed adopted public highway are to be subject to an agreement under Section 278 Highways Act 1980 between the developer and Local Highway Authority.

RECOMMENDATION 3 : The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints and;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates / soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management licence. The following must not be imported to a development site:
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or

radioactive substances.

- Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and

- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 4: To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

1. DESCRIPTION OF PROPOSED DEVELOPMENT

- 1.1 The detailed application proposes the change of use of the main body of the church to 12 affordable apartments over 3 new floors utilising the main west entrance and installing stairs and lift in a new full height entrance foyer.
- 1.2 The chancel will be refurbished and retained as a place of worship and a new single storey extension built to connect the church with the Parish Hall and provide a new entrance hall to the church from St Fagan's Street over a new landscaped forecourt. The existing vicarage garage/ outbuilding will be demolished to make way for this new entrance.
- 1.3 Two new 2-storey semi-detached dwellings will be built next to the Vicarage on the northern boundary of the site. They have front door access from Llanmaes Street via small front gardens with railings, and small fenced private rear gardens. They are set back from the pavement and follow the building line of the existing terrace. Next to the houses and set back into the site there is a bin store and cycle store serving the apartments.
- 1.4 Existing mature trees are retained to the front of the site and there will be no loss of significant amenity trees as a result of this development.

- 1.5 Amended plans were received addressing issues relating to the design of the link block and the semi-detached houses.
- 1.6 Statutory pre-application public consultation was carried out by the developer from 10.11.16 to 9.12.16. Site notices were posted by the applicant and the planning application documents were made available on line. Letters were sent to the adjoining owners and occupiers and to the Ward Councillors. Welsh Water and Cardiff Council Highways were consulted in accordance with statutory requirements.
- 1.7 DCWW responded on drainage requirements. One local resident responded raising concerns over parking, noise from future occupiers, and lack of consultation. Local members did not respond.
- 1.8 The pre-application consultation undertaken by the applicant meets the requirements of the T&CP (Wales) (Amendment) Order 2016.
- 1.9 The application is supported by the following additional information:
- Pre-Application Consultation Report
 - Design and Access Statement
 - Heritage Impact Assessment
 - Planning Statement
 - Flood Consequences Assessment (FCA) Report, and updated FCA Report
 - Ecological Survey Report
 - Structural Report

2. DESCRIPTION OF SITE

- 2.1 A flat roughly square 0.27ha site with the imposing Grade II listed church built in 2 phases between 1889 and 1902 sited in the centre of the site with the main entrance from Paget Street to the west. Immediately to the south of the church building is a single storey unsympathetic Parish Hall building constructed in 1968 and recently renovated, and a 2-storey Vicarage in the NE corner of the church plot that is not included in the red line boundary.
- 2.2 The church and other buildings are bounded to the west and the NW corner by grassed amenity space and several significant mature trees and the site is enclosed by a wrought iron fence.
- 2.3 The site is bounded by Paget Street to the west, Llanmaes Street to the north, a gated lane to the east, and St. Fagans Street to the south. A secondary pedestrian access is provided off St. Fagans Street serving the Parish Hall, and there is a gated vehicular access to the single storey garage (to be demolished) at the southeast corner of the site, accessed off the same street. The immediate area is predominantly residential comprising 2 storey late Victorian terraced housing.

3. **PLANNING HISTORY**

16/03066/MJR: Accompanying application for listed building consent for works to facilitate the conversion of the church aisles and nave into 12 apartments, including the replacement of 8 windows in aisles and creation 8 new window openings serving new apartments, alteration of chancel to create new worship space, and adaptation of site perimeter fencing. Under consideration.

11/2139/DCI: PP granted in April 2012 for extensions and refurbishment of St. Pauls Church Hall.

4. **POLICY FRAMEWORK**

4.1 The following national planning policy and guidance is considered to be of particular relevance:

4.1 Planning Policy Wales (PPW) Ed. 9 Nov 2016: Ch. 6.5 Development Management & the Historic Environment.

Welsh Office Circular 61/96: Planning and the Historic Environment: Historic Buildings and Conservation Areas

4.2 The following Technical Advice Notes (TANs) are relevant:

- TAN 12: Design
- TAN 24: Historic Environment

The following local planning policy and guidance is considered to be of particular relevance:

4.3 Cardiff Local Development Plan 2006-2026:

- KP5 Good Quality and Sustainable Design
- KP7 Planning Obligations
- KP17 Built Heritage
- C1 Community Facilities
- C5 Provision for Open Spaces
- EN13 Air, Noise, Light Pollution & Land Contamination
- H3 Affordable Housing

4.4 Supplementary Planning Guidance

The following Supplementary Planning Guidance (SPG) is of relevance:

- Access, Circulation and Parking Requirements (2010)
- Waste Collection and Storage Facilities (2016)
- Planning Obligations (2017)

5. **INTERNAL CONSULTEE RESPONSES**

Land Use Policy:

5.1 The site has no specific designation or allocation but falls within a residential area. The application should therefore be assessed against Policy H6: Change

of Use or Redevelopment to Residential Use. This policy provides a framework for the assessment of change of use, conversion or redevelopment of redundant previously developed land and premises for residential purposes within settlement boundaries.

5.2 Redevelopment to residential use is permitted where:

- there is no overriding need to retain the existing use of the premises and no overriding alternative local land use requirement;
- the resulting residential accommodation and amenity will be satisfactory;
- there will be no unacceptable impact on the operating conditions of existing businesses;
- necessary community and transportation facilities are accessible or can be readily provided or improved; and
- it can be demonstrated that the change of use to a more sensitive end use has been assessed in terms of land contamination risk and that there are no unacceptable risks to the end users.

5.3 Religious facilities such as churches are defined in the LDP as community facilities. As such, Policy C2: Protection of Existing Community Facilities is also of relevance. Policy C2: permits the change of use of buildings used for community facilities where:

- an alternative facility of at least equal quality and scale to meet the community needs is available or will be provided within the vicinity or;
- it can be demonstrated that the existing provision is surplus to the needs of the community.

5.4 The proposal involves only part of the church building and a smaller place of worship will be retained and given its location in an established residential area, assessed against this policy framework, the application raises no land use policy concerns.

5.5 Transportation: The Council's Transportation Officer confirms that the submission is considered to be acceptable in principle, subject to standard conditions. **The detailed response will be reported to committee.**

5.6 Parks Services: Overall I welcome the design of the amenity space as it will result in retention of many of the trees, particularly those along the boundary of Paget Street. These form a valuable part of the streetscape and protection of these during construction and as part of the final design is a critical part of the scheme. In order to ensure their protection I would advise that a tree protection plan is produced or a plan indicating that they would be fencing off during construction. In terms of design of the amenity space I would suggest that some seating is provided for residents.

5.7 These comments relate to the current LDP (C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport; KP16 Green Infrastructure), and the 2017 Planning Obligations Supplementary Planning Guidance (SPG), supported by policies set out in the 2008 SPG for Open Space which set the Council's approach to open space provision.

- 5.8 The Council's LDP requires provision of a satisfactory level and standard of open space on all new housing/student developments, or an off-site contribution towards existing open space for smaller scale developments where new on-site provision is not applicable.
- 5.9 Based on the information provided on the number and type of units, I have calculated the additional population generated by the development to be 19.2. This generates an open space requirement of 0.0466 ha of on-site open space based on the criteria set for Housing accommodation, or an off-site contribution of £19,921. I enclose a copy of the calculation.
- 5.10 As no public open space is being provided on-site, the developers will be required to make a financial contribution towards the provision of new open space, or the design, improvement and/or maintenance of existing open space in the locality, given that demand for usage of the existing open spaces would increase in the locality as a result of the development.
- 5.11 The use of S106 contribution from this development will need to satisfy CIL and the current distance requirements set out in the 2017 Planning Obligations SPG – play areas 600m (not applicable to student and sheltered accommodation), informal recreation 1000m, and formal recreation 1500mm, measured from edge of the site.
- 5.12 Use of the contribution will be confirmed at S106 stage. The closest areas of recreational open space are Grange Gardens, The Marl and Grangemoor Park.
- 5.13 Housing Strategy: The Housing Strategy Officer makes the following comments: There is a high demand for affordable housing in this area and the Housing Development Team is fully supportive of Wales & West HA redeveloping this site wholly for affordable housing. All social rented units will meet Welsh Government Development Quality requirements (DQR) & the Welsh Housing Quality Standard (WHQS). The planning permission needs to be a restricted use for 100% affordable housing.
- 5.14 Drainage Management: No consultation response received to date. In the event a response is received it will be reported to planning Committee as a late representation.
- 5.15 Waste Management: Amended plans were received addressing concerns over the bin storage area. The Waste Strategy and Minimisation Officer has no objection to the proposal.
- 5.16 Pollution Control (Contaminated Land): The Contaminated Land Officer makes the following observations: In reviewing available records and the application for the proposed development, the site has been identified as formerly part of Upper Grangetown Brickworks, including infilled clay pits. Additional historical landfill sites are also identified within 250m of the development. Activities associated with this may have caused the land to become contaminated. In addition former landfill sites are associated with the generation of landfill gases, within subsurface materials, which have the

potential to migrate to other sites. This may give rise to potential risks to human health and the environment for the proposed end use.

- 5.17 Should there be any importation of soils to develop the garden/landscaped areas of the development, or any site won recycled material, or materials imported as part of the construction of the development, then it must be demonstrated that they are suitable for the end use. This is to prevent the introduction or recycling of materials containing chemical or other potential contaminants which may give rise to potential risks to human health and the environment for the proposed end use.
- 5.18 Shared Regulatory Services requests the inclusion of standard ground gas protection, contaminated land, unsuspected contamination, imported soils/aggregates, and use of site-won materials conditions.
- 5.19 Pollution Control (Noise & Air): The Pollution Control Officer requests the following conditions: sound insulation, plant noise, and amplified music and a construction site noise recommendation.
- 5.20 Trees: Since submission of the application the applicant has provided a Tree Assessment and an Arboricultural Impact Assessment at the request of the Tree Officer. The Officer makes the following comments:
- 5.21 The submitted tree report demonstrates that implementation of this development will not result in the loss of any significant amenity trees. However, there will be an incursions into the Root Protection Areas (RPAs) of two trees, comprising the 'A' category T10 (paved ramp and bin store) and 'B' category T12 (bin/cycle store, amenity space). Considering that roots from these trees are highly unlikely to be extending into the highway, and the boundary wall may impede their development under the footway, it is reasonable to argue that their RPAs should be offset into the existing soft landscaped parts of the site. Consequently the incursions into the RPA are greater than shown, and taking this approach, the 'B' category T6 also sees an incursion into its RPA (ramped paving). As per 5.3.1 of BS 5837:2015, my default position is that structures should be located outside of RPAs to be retained, unless:
- Technical solutions are presented that will prevent damage to the trees;
 - The project arboriculturist demonstrates the trees can remain viable and that the area lost to encroachment can be compensated for elsewhere, contiguous with its RPA;
 - The project arboriculturist proposes a series of mitigation measures to improve the soil environment that is used by the tree for growth.
- 5.22 Whilst I am content to await landscaping details informed by a basic soil assessment at discharge of conditions stage, I do at least need clear 'in principle' agreement to the following:
- 5.23 A basic soil assessment shall be undertaken prior to the preparation of a landscaping scheme. The assessment shall be carried out by a Soil Scientist, Environmental Scientist, Arboriculturist, Horticulturist or Landscape Architect,

based on the preparation of trial pits. Soil physical characteristics shall be recorded, photographed and submitted as evidence of the suitability of the soil for its intended end use, and a strategy for soil handling, storage and placement prepared, that accords with the principles set out in BS 3882:2015, BS 8601:2013 and the 2009 DEFRA Code.

- 5.24 The basic soil assessment shall be used to inform a detailed landscaping scheme, prepared by a professional Landscape Architect or Garden Designer. The landscaping scheme shall make provision for two new, upright trees on the frontage of the two new houses and the planting palette shall be appropriate functionally and symbolically, reflecting the use of the site as a place of Christian worship. In this regard, plants selected on the basis of their Christian symbolism, including evergreen trees and shrubs in the genera Cupressus, Ilex, Juniperus and Myrtus are appropriate, and shall be incorporated into the landscaping scheme wherever possible. The landscaping scheme shall comprise a scaled planting plan, plant schedule, topsoil and subsoil specification, tree pit section, planting methodology and aftercare methodology.
- 5.25 I agree with the submitted Arboricultural Impact Assessment that a site specific Arboricultural Method Statement and Tree Protection Plan are required to describe the tree protection measures that will be put in place at this site during development. If you do not require such upfront, which is preferred, then you will need to condition the requirement.
- 5.26 Recommended tree protection condition: No demolition, site preparation or development shall take place until the following have been submitted to and approved in writing by the Local Planning Authority (LPA) in accordance with the current British Standard 5837:
- An Arboricultural Method Statement (AMS) detailing the methods to be used to prevent loss of or damage to retained trees within and bounding the site, and existing structural planting or areas designated for new structural planting.
 -
- The AMS shall include details of site monitoring of tree protection and tree condition by a qualified arboriculturist, undertaken throughout the development and after its completion, to monitor tree condition. This shall include the preparation of a chronological programme for site monitoring and production of site reports, to be sent to the LPA during the different phases of development and demonstrating how the approved tree protection measures have been complied with.
- A Tree Protection Plan (TPP) in the form of a scale drawing showing the finalised layout and the tree and landscaping protection methods detailed in the AMS that can be shown graphically.
- Unless written consent is obtained from the LPA, the development shall be carried out in full conformity with the approved AMS and TPP. Reason: To enable the Local Planning Authority to assess the effects of the proposals on existing trees and landscape; the measures for their protection; to monitor compliance and to make good losses.

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Glamorgan Gwent Archaeological Trust (GGAT): Having consulted their records GGAT confirms that the proposal has an archaeological restraint. To ensure work is carried out in an appropriate manner GGAT request a standard condition requiring the pre-commencement submission of a programme of historic building recording and analysis for approval by the LPA.
- 6.2 DCWW: No objection subject to a condition requiring that no surface water from any increase in the roof area of the building and/or impermeable surfaces within the curtilage shall be allowed to drain directly or indirectly to the public sewerage system.
- 6.3 Natural Resources Wales (NRW): NRW has no objection to the development from a flood risk perspective. No adverse comments in relation to European protected Species (bats).
- 6.4 South Wales Police: No objection. Advice is offered on lighting, access control, windows and doors, CCTV, fire alarms, and cycle stores. The response has been forwarded to the applicant.

7. **REPRESENTATIONS**

- 7.1 The application was advertised on site and in the press as affecting the setting of a listed building. Neighbours were notified. Representations have been received from former Grangetown Councillor Tariq Awan, and from local residents at 35 & 40 Llanmaes Street.
- 7.2 No. 40 Llanmaes Street objects on the grounds that it is a quiet street which has enough parking issues already, and does not need noisy social tenants moving in and does not need any more cars. She would also like to have been informed of the application by letter.
- 7.3 No. 35 Llanmaes Street objects on the following grounds:
- Impact of the semi-detached houses on the setting of the listed church and its landscaped grounds.
 - Insensitive design of the houses, in particular the white panels at first floor levels and the white aluminium box surrounds to the ground floor front windows.
 - Inadequate parking provision.
- 7.4 Former Cllr. Awan raises concerns over the increase in traffic and car parking problems and asks whether on-site parking is provided and whether there are any plans to introduce residential parking permits in the Paget Street and Llanmaes St. area.

8. **ANALYSIS**

- 8.1 The main issues to assess are the principle of residential use on the site, the design of the link block and houses, the impact of the link block and the houses

on the setting of the listed building, parking provision, and the amenity of the future occupiers. The works proposed to the listed building are considered in the accompanying application for listed building consent.

- 8.2 The site has no specific designation or allocation but falls within a residential area. The application should therefore be assessed against Policy H6: Change of Use or Redevelopment to Residential Use. This policy provides a framework for the assessment of change of use, conversion or redevelopment of redundant previously developed land and premises for residential purposes within settlement boundaries.
- 8.3 Redevelopment to residential use is permitted where:
- there is no overriding need to retain the existing use of the premises and no overriding alternative local land use requirement;
 - the resulting residential accommodation and amenity will be satisfactory;
 - there will be no unacceptable impact on the operating conditions of existing businesses;
 - necessary community and transportation facilities are accessible or can be readily provided or improved; and
 - it can be demonstrated that the change of use to a more sensitive end use has been assessed in terms of land contamination risk and that there are no unacceptable risks to the end users.
- 8.4 Religious facilities such as churches are defined in the LDP as community facilities. As such, Policy C2: Protection of Existing Community Facilities is also of relevance. Policy C2: permits the change of use of buildings used for community facilities where:
- an alternative facility of at least equal quality and scale to meet the community needs is available or will be provided within the vicinity or;
 - it can be demonstrated that the existing provision is surplus to the needs of the community.
- 8.5 The proposal involves only part of the church building and a smaller place of worship will be retained and given its location in an established residential area, assessed against this policy framework, the application raises no land use policy concerns.
- 8.6 Design: The single-storey flat-roofed link block is designed in such a way as to minimise its impact on the listed building and is acceptable subject to approval of materials and architectural detailing.
- 8.7 Houses: The 2 storey houses with pitched roofs and gables are traditional in design and materials and are in keeping with the Victorian character of the street.
- 8.8 Public Realm: The adjoining footways and gated rear lane are in reasonable condition and with the exception of a redundant crossover that requires reinstating no improvement works are required as part of this scheme._

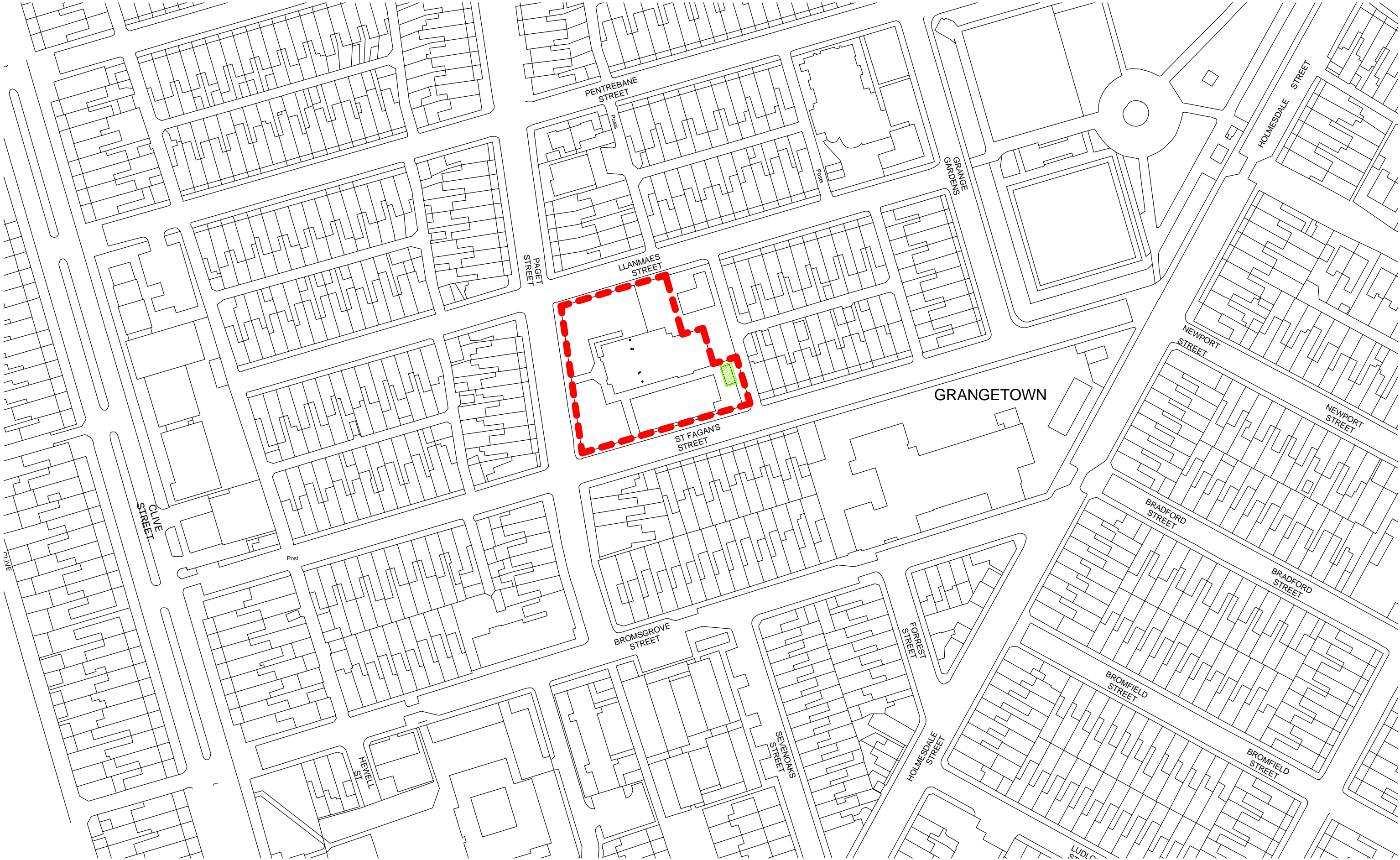
- 8.9 Access and Parking provision: The Access, Circulation and Parking Standards SPG (2010) require a minimum of 4 parking spaces (maximum 14 spaces) for a residential development with this number of affordable units located outside the Central Area. The proposal does not provide any on-site parking provision and is not therefore policy compliant.
- 8.10 However the SPG allows for flexibility in applying the parking standards in certain situations and the following factors (inter alia) are taken into account in assessing levels of parking provision in any particular scheme: location, nature and type of development, accessibility and availability of local facilities, public transport, and on-street parking, and impact on the historic built environment.
- 8.11 On balance on-site parking provision is not required given the location, number and type of units proposed (14 affordable dwellings in a location close to facilities and public transport), and the availability of ample on-street parking adjacent to the site. Providing parking on site would also mean in this case the loss of church grounds and railings, and have a potentially adverse impact on the setting of the listed church.
- 8.12 Amenity of future occupiers: Amenity of future occupiers in relation to privacy, daylighting and external amenity space is acceptable.
- 8.13 The Pollution Control (Noise & Air) consultation response requests plant noise and amplified music conditions, neither of which are required given the nature and scale of the proposed uses. A condition is imposed requiring sound insulation between residential units and the plant/boiler room.
- 8.14 Setting of the listed building: Impact of the two semi-detached houses on the setting of the listed building: The two semi-detached houses would be located away from the most prominent views of the church. The existing area is currently largely screened by an unattractive concrete wall and vegetation within the side garden of the vicarage. A further benefit of this location is that it would not significantly affect the original decorative iron churchyard railings, which are 'curtilage-listed' by virtue of their age, position and association with the church.
- 8.15 The application has not been presented with a formal 'enabling development' case to justify the provision of the houses within the setting of the church, however it is understood that they are required in order to justify the investment in the church and to allow the Housing Association to provide a range and choice of affordable units. It is recommended that a condition be applied to the planning permission ensuring that the conversion works are completed before beneficial occupation of the houses.
- 8.16 Listed building recording: a recording condition as recommended by GGAT is applied to the Listed Building Consent application.
- 8.17 Representations: The concerns and objections relating to parking are addressed above. In relation to the provision of residential parking permits the

introduction of residential parking bays is based on surveys by the Council and to my knowledge none are proposed for this particular area.

- 8.18 The impact of the pair of semi-detached houses on the setting of the listed building, and the design of the houses, is addressed above.
- 8.19 Section 106 obligations: The total s106 financial contribution requested to date is £19,921 for public open space improvements. The contribution is waived in this case given that the proposals restore a listed building, ensure the continued use of the chancel as a place of worship, enhance the landscaped grounds, and provide much-needed affordable housing.
- 8.20 A Section 106 planning obligation is required to ensure that all the dwellings are for 100% affordable housing consistent with the approved Supplementary Planning Guidance (January 2017)

9. **CONCLUSION**

- 9.1 The proposed development would bring a vulnerable listed building back into full beneficial and sustainable use, providing 14 affordable homes and retaining a significant element of the building's intended use as a place of worship. Any negative impacts upon the building's setting, loss of fabric or aesthetic appreciation have been appropriately justified or mitigated within the submitted proposals.
- 9.2 The granting of planning permission is recommended subject to conditions being imposed and a legal agreement (Section 106) being signed to restrict the tenure of the apartments and the semi-detached houses to 100% affordable.



Revised	Description	By	Chkd By	Date
*	Initial Issue	JJ	RF	17.10.16
A	Garage demolition hatch added	JJ	RF	08.11.16

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Drawn JJ

Date SEPT 2016

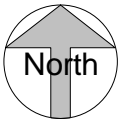
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Project St Paul's Church, Grangetown

Description Site Location Plan

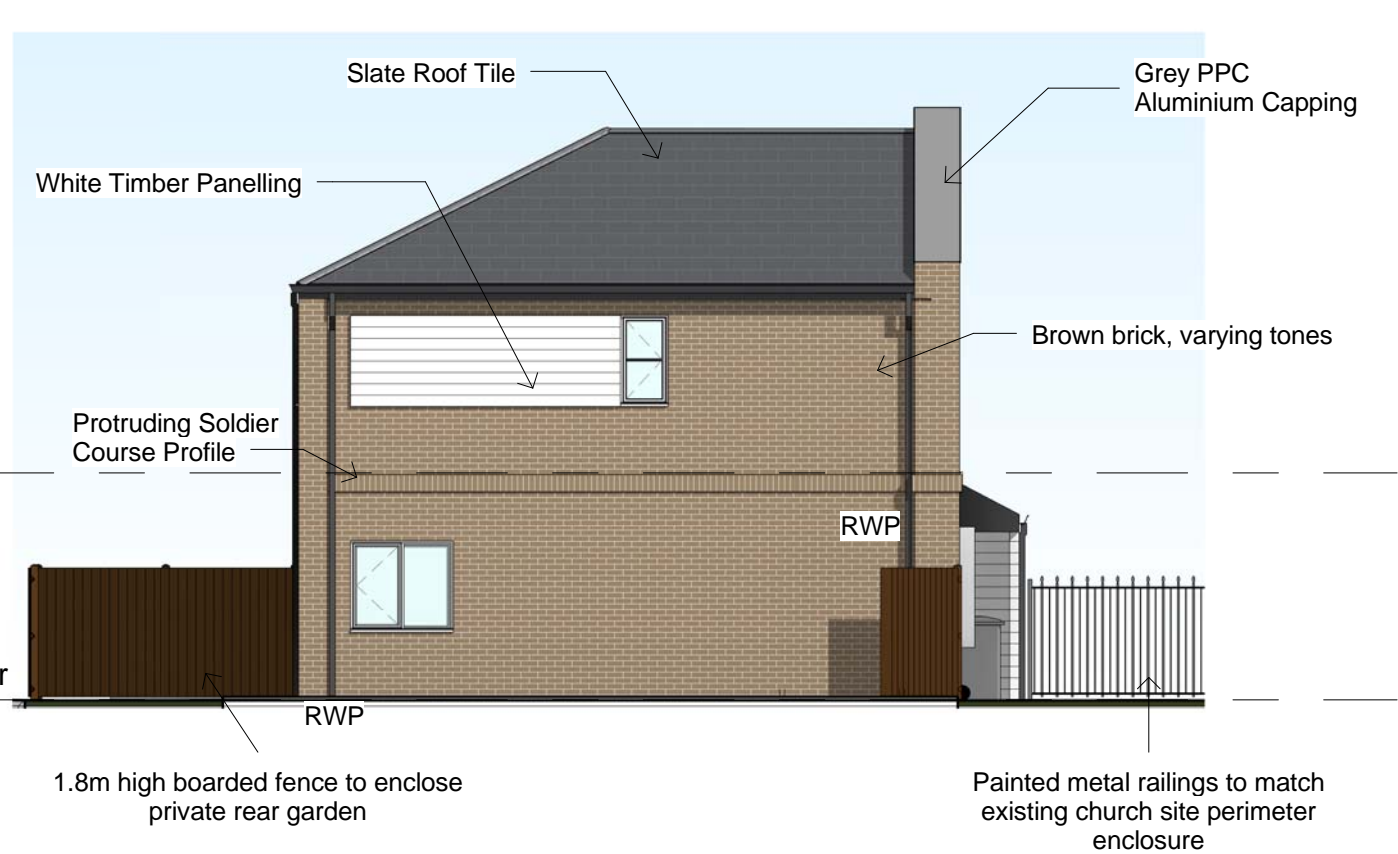
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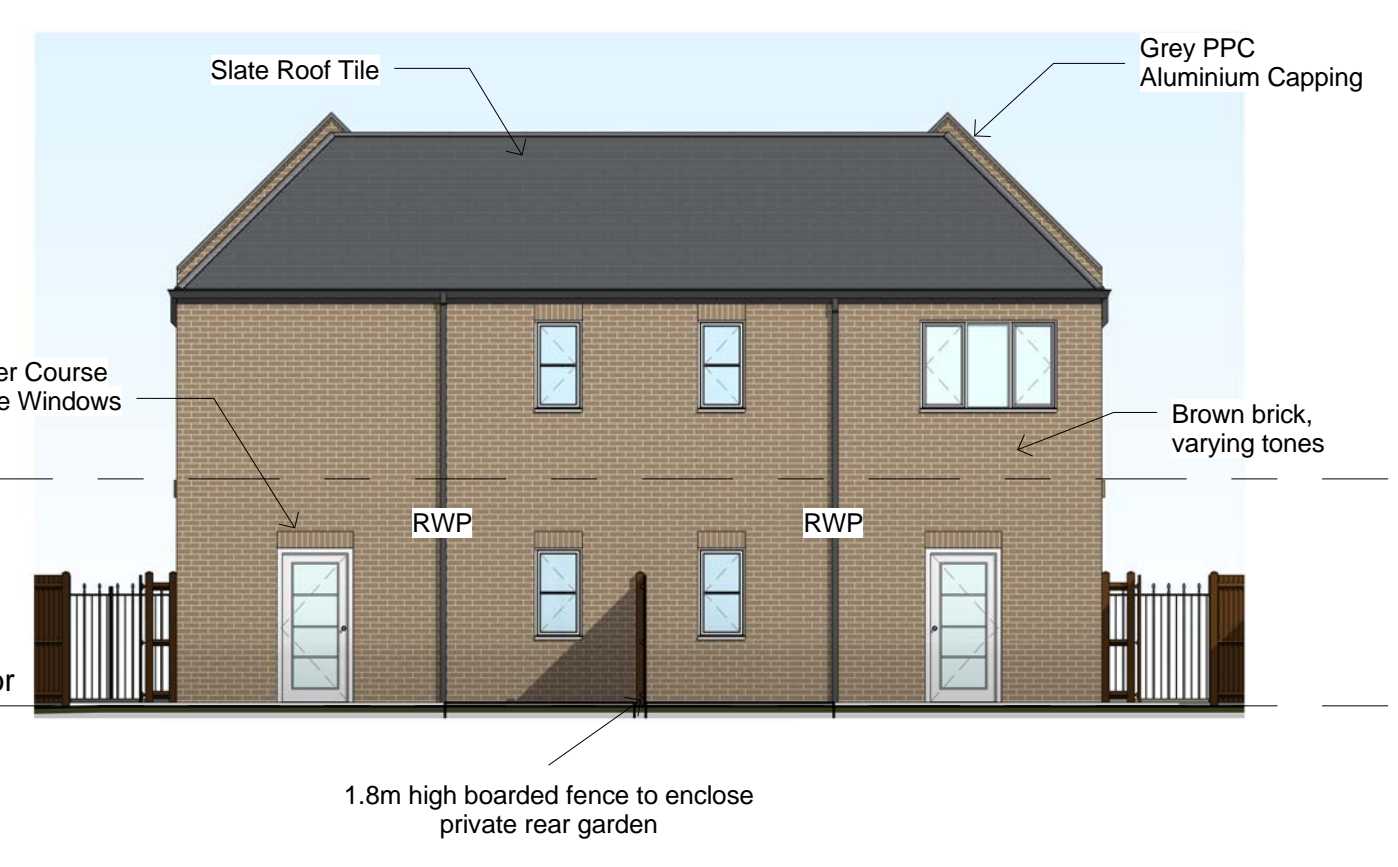
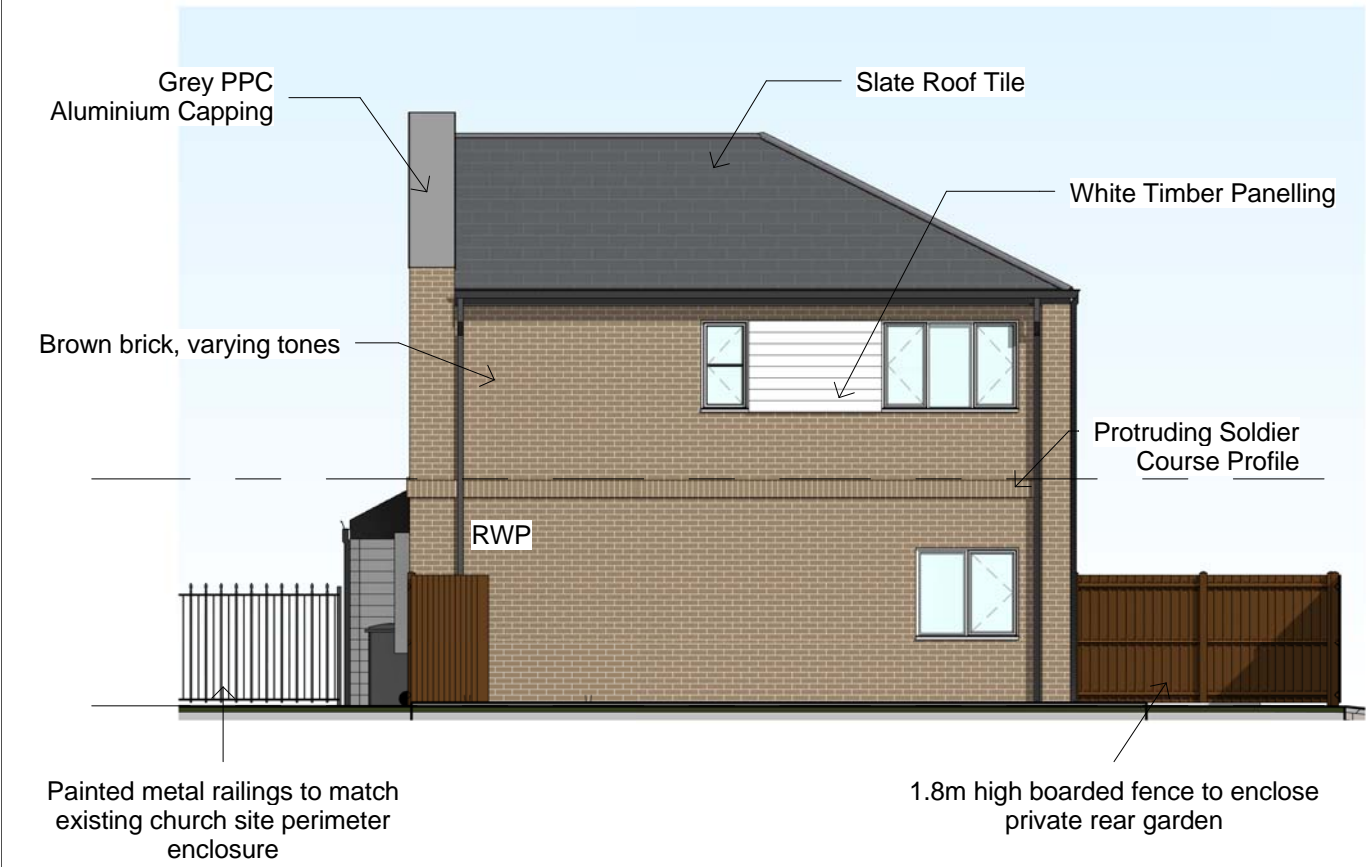
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Revised	Description	By	Chkd By	Date

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Project St Paul's Church, Grangetown - Houses

Description	Elevations	
Job No.	Drawing No.	Revision
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Revision	Description	By	Chkd By	Date

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Project St Paul's Church, Grangetown - Houses

Description 3D Perspective

Job No.	Drawing No.	Revision
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COMMITTEE DATE: 21/06/2017

APPLICATION No. **16/03066/MJR** APPLICATION DATE: 19/01/2017

ED: **GRANGETOWN**

APP: TYPE: Listed Building Consent

APPLICANT: Wales & West Housing Association Ltd

LOCATION: ST PAULS CHURCH, LLANMAES STREET, GRANGETOWN, CARDIFF, CF11 7LR

PROPOSAL: CHANGE OF USE OF PART OF EXISTING CHURCH BUILDING FROM PLACE OF WORSHIP TO NEW RESIDENTIAL APARTMENTS (SMALLER PLACE OF WORSHIP RETAINED WITHIN BUILDING), CONSTRUCTION OF 2 NR NEW 2 BEDROOM SEMI-DETACHED HOUSES, CONSTRUCTION OF NEW EXTENSION BETWEEN EXISTING CHURCH VESTRY AND PARISH HALL TO PROVIDE NEW ENTRANCE TO CHURCH, CONSTRUCTION OF NEW CYCLE AND BIN STORE STRUCTURE, ADAPTATION OF EXISTING SITE PERIMETER FENCING TO PROVIDING ACCESS TO NEW HOUSES AND NEW CHURCH ENTRANCE, ALTERATIONS TO EXISTING LANDSCAPING TO ACCOMMODATE NEW CIRCULATION PATHS, ENCLOSED LANDSCAPE AMENITY SPACE FOR USE BY APARTMENT RESIDENTS AND FORECOURT APPROACH TO NEW CHURCH ENTRANCE, LBC APPLICATION FOR THE CONVERSION OF THE EXISTING CHURCH AISLES AND NAVE INTO 12 NEW APARTMENTS, REPLACEMENT OF 8 NR EXISTING WINDOWS IN AISLES AND CREATION OF 8 NR NEW WINDOW OPENINGS SERVING NEW APARTMENTS, ALTERATION OF EXISTING CHURCH CHANCEL TO CREATE NEW FLAT-FLOORED WORSHIP SPACE

RECOMMENDATION 1 : That, subject to Cadw not wishing to call in the application for determination by the Welsh Ministers, Listed Building Consent be **GRANTED** subject to the following conditions:

1. C02 Statutory Time Limit - Listed Building
2. The consent relates to the following approved plans:

<i>Dwg. No.</i>	<i>Title</i>
L(90)001	Site Location Plan
L(90)100	Site Plan
L(90)150B	Site Layout
L(00)100A	Ground Floor Apartment Plan
L(00)101	First Floor Apartment Plan
L(00)102	Second Floor Apartment Plan

L(00)103	Roof Plan
L(00)200	Sections A-A & B-B
L(00)201	Section C-C
L(00)202	Section D-D
L(00)203	Section E-E
L(00)204	Section F-F & G-G
L(00)300A	North Elevation
L(00)301A	West Elevation
L(00)302A	South Elevation
L(00)303A	East Elevation
L(00)150	Chancel and New Entrance Plan
L(00)151	Chancel Internal Elevations
L(00)501B	Link Building – Ground & Roof Plans
L(00)520B	Link Building – Elevations & Sections
L(00)900	Bin & Cycle Store Plans, Sections & Elevations
L(00)700	Houses Ground Floor Plans
L(00)701	Houses First Floor Plans
L(00)702	Houses Second Floor Plans
L(00)720	Houses Section
L(00)730A	Houses Elevations
<u>Demolition</u>	
L(00)050	Demolition Plan
L(00)051	Demolition Section 1
L(00)052	Demolition Section 2
L(00)053	Demolition Site Plan

Reason: For the avoidance of doubt.

3. No works to which this consent relates shall commence until an appropriate programme of historic building recording and analysis has been secured and implemented in accordance with a written scheme of investigation which has been submitted to and approved in writing by the local planning authority.
Reason: As the building is of architectural and cultural significance the specified records are required to mitigate impact.
4. Prior to its installation, full details, to include a methodology of construction, of all structural timberwork/steelwork, the treatment of surrounds to existing columns, and large scale typical sectional drawings of any required supports or fixings associated with the inserted floors within the building shall be submitted to and approved in writing by the local planning authority, and the works shall thereafter accord with the approved details.
Reason: To ensure that the detail of construction and method of working will accord with the principles of minimum intervention into any historic fabric and will not result in any undue damage to the building.
5. Prior to its installation, detailed drawings for the proposed link building where it connects to the listed building, at a minimum scale of 1:10, shall be submitted to and approved in writing by the local planning authority.

Reason: To ensure that the detail of construction and method of working will accord with the principles of minimum intervention into any historic fabric and will not result in any undue damage to the building.

6. Prior to the commencement of development, a detailed specification and mix ratio for repointing & bedding mortars for use during repair works or making good of internal and external stonework shall be submitted to and approved by the local planning authority and only approved mortars shall be used in the carrying out of development.

Reason: The use of inappropriate mortars may damage the fabric of the building.

7. Prior to its installation, details of the design and specification of any internal wall insulation and/or dry-lining system shall be submitted to and approved in writing by the local planning authority.

Reason: To protect the fabric of the Grade II Listed St Pauls in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.

8. Prior to their installation, detailed plans showing the new and replacement windows within the nave, at a minimum scale of 1:10, shall be submitted to and approved by the Local Planning Authority. The alterations shall be implemented in accordance with the approved plans.

Reason: To protect the character of the Grade II Listed St Pauls in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.

9. Prior to the beneficial occupation of the residential units within the listed building, a scheme of repair and redecoration of the churchyard railings and gates will be implemented.

Reason: To protect the character of these curtilage-listed structures in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.

RECOMMENDATION 2 : The recording work required under condition 3 should be undertaken to the standard of a Level 3 survey (Historic England 2016, Understanding Historic Buildings: A Guide to Good Recording Practice). The archaeological work must be undertaken to the Chartered Institute for Archaeologists (CIfA), "Standard and Guidance for Building Recording" (www.archaeologists.net/codes/ifa) and it is recommended that it is carried out either by a CIfA Registered Organisation (www.archaeologists.net/ro) or an accredited Member.

The record shall be submitted to an appropriate public archive (the NMR held by the RCAHMW and/or the HER held by GGAT) and receipt of its acceptance shall be provided to the LPA.

A list of archaeological contractors who have indicated their availability to work in Wales is available from <http://www.archaeologists.net/ro>.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The detailed application proposes the change of use of the main body of the church to 12 affordable apartments over 3 new floors utilising the main west entrance and installing stairs and lift in a new full height entrance foyer.
- 1.2 The chancel will be refurbished and retained as a place of worship and a new single storey extension built to connect the church with the Parish Hall and provide a new entrance hall to the church from St Fagan's Street over a new landscaped forecourt. The existing vicarage garage/ outbuilding will be demolished to make way for this new entrance.
- 1.3 Two new 2-storey semi-detached dwellings will be built next to the Vicarage on the northern boundary of the site. They have front door access from Llanmaes Street via small front gardens with railings, and small fenced private rear gardens. They are set back from the pavement and follow the building line of the existing terrace. Next to the houses and set back into the site there is a bin store and cycle store serving the apartments. These dwellings are not part of the LBC, but form part of a combined application for planning permission under 16/03066/MJR.
- 1.4 Amended plans were received addressing issues relating to the design of the link block.
- 1.5 Statutory pre-application public consultation was carried out by the developer from 10.11.16 to 9.12.16. Site notices were posted by the applicant and the planning application documents were made available on line. Letters were sent to the adjoining owners and occupiers and to the Ward Councillors. Welsh Water and Cardiff Council Highways were consulted in accordance with statutory requirements.
- 1.6 DCWW responded on drainage requirements. One local resident responded raising concerns over parking, noise from future occupiers, and lack of consultation. Local members did not respond.
- 1.7 The pre-application consultation undertaken by the applicant meets the requirements of the T&CP (Wales) (Amendment) Order 2016.
- 1.8 The application is supported by the following additional information:
 - Pre-Application Consultation Report
 - Heritage Impact Assessment
 - Design and Access Statement
 - Planning Statement
 - Flood Consequences Assessment (FCA) Report, and updated FCA Report
 - Ecological Survey Report
 - Structural Report

2. DESCRIPTION OF SITE

- 2.1 A flat roughly square 0.27ha site with the imposing Grade II listed church built in 2 phases between 1889 and 1902 sited in the centre of the site with the main entrance from Paget Street to the west. Immediately to the south of the church building is a single storey unsympathetic Parish Hall building constructed in 1968 and recently renovated, and a 2-storey Vicarage in the NE corner of the church plot that is not included in the red line boundary.
- 2.2 The church and other buildings are bounded to the west and the NW corner by grassed amenity space and several significant mature trees and the site is predominantly enclosed by iron railings and gates, which are also protected by the Grade II listing as curtilage structures.
- 2.3 The site is bounded by Paget Street to the west, Llanmaes Street to the north, a gated lane to the east, and St. Fagans Street to the south. A secondary pedestrian access is provided off St. Fagans Street serving the Parish Hall, and there is a gated vehicular access to the single storey garage (to be demolished) at the southeast corner of the site, accessed off the same street. The immediate area is predominantly residential comprising 2 storey late Victorian terraced housing.

3. PLANNING HISTORY

16/03066/MJR: Accompanying application for planning permission for change of use of part of existing church building from place of worship to 12 new apartments and construction of extension to provide new entrance to church, construction of 2 semi-detached houses, construction of cycle store and bin store, and associated landscaping. Under consideration.

11/2139/DCI: PP granted in April 2012 for extensions and refurbishment of St. Pauls church hall.

4. POLICY FRAMEWORK

Planning Policy Wales (PPW) Edition 9, November 2016: Chapter 6 - Conserving the Historic the Historic Environment.

Technical Advice Note 24: The Historic Environment

Cardiff Local Development Plan 2006-2026:

- KP17: Built Heritage
- EN9: Conservation of the Historic Environment

Supplementary Planning Guidance (SPG):

- Access, Circulation and Parking Requirements (2010)
- Waste Collection and Storage Facilities (2016)
- Planning Obligations (2017)

5. **INTERNAL CONSULTEE RESPONSES**

Conservation Officer:

- 5.1 The building is Grade II listed, being originally added in May 1975 and reviewed in 1997. Details from list description (Cadw ref. 13770) are as follows:

History

Designed 1888 by J P Seddon and J Coates Carter, architects, to replace iron church of 1879, on land donated by Lord Windsor who also gave £4000 towards cost of church. Nave and aisles built 1889-91; chancel 1901-2, at further expense to Lord Windsor of £3000. Projected tower and steeple never built. The church is interesting for the early use of concrete aggregate materials in its construction.

Exterior

Church in Geometrical Decorated style. Grey Pennant stone with dressings and banding of pink sandstone and Portland cement with pink pebble aggregate. Continuous tiled roof over nave and chancel. Nave, chancel, aisles, base of uncompleted tower. West front has 2 polygonal turrets with pyramidal roofs above arcading, niches for statues (not executed). Four-light decorated window above gabled tripartite doorway with grey shafts to arches (gable flanked by flushwork). Side elevations of 5 cross-gabled bays with tall 2-light windows with quatrefoils, oculi in gables, lancets to E and W aisle returns. East window of 5 lights (mandorla above in gable apex). Chancel elevations of 3 bays, three 3-light windows to N, to S, two 3-light windows, and stump of uncompleted tower with has battered angle buttresses and tall arcaded panel. Vestry to S of chancel.

Interior

Lofty five bay nave with tall slender piers, 3-bay chancel at same height. Boarded roofs to nave and chancel of trefoil section, tie-beams and arch-braces on pointed corbels, boarded ceilings to aisles. Panelled wood fittings to chancel. Wooden pulpit with sculpted figures, and choir stalls by Coates Carter. Stained glass in E (war memorial) window; main theme is crucifixion, with, at base of window, panels of trench scene, artillery, seaplane, merchant ship; by Burlison & Grylls, 1920.

Reason for Listing

Listed as well-designed church by well-known local architect.

Background: The submitted scheme is the result of significant pre-application discussions, through which numerous layout and alteration options were tested in order to develop the optimum viable proposal that would preserve the most significant internal and external elements of the building's character and fabric. This process is described in full within the submitted Heritage Impact Assessment and the DAS.

Alterations affecting the Nave and Aisles - change of use to residential and

formation of 12 apartments: With reference to changes of use, Paragraph 4.7 of Annex 2 to TAN 24; '*Managing Change to Listed Buildings in Wales*', states that:

Sometimes, buildings cease to be useful for their original purpose and new uses may be necessary to secure their long-term viability. This is particularly true of redundant farm buildings, industrial buildings, places of worship or large houses, for example. Change of use will almost invariably result in loss of historical form, fabric or detail, such as internal fittings, but these losses should be kept to the minimum necessary so that the original use can still be legible. When considering change of use, care needs to be taken not to over develop a listed building. For example, when converting a listed building into apartments, you should be realistic about how many units can be created. In some circumstances, a change of use may present an opportunity to enhance the heritage value of the building — for example, by strengthening its communal value through greater accessibility.

In consideration of the above, the desirability and necessity of the change of use and alterations proposed to facilitate the creation of 12 apartments have been appropriately justified within the detailed Heritage Impact Assessment, a key part of which is an enhanced communal value through an element of continuing worship use and increasing access to the community. The applicant has demonstrated a good understanding of the structure, condition, performance and significance of the building, with a design response that seeks to maximise the retention of character and fabric.

The primary change is the partitioning of the church to form two distinct uses, residential and worship space in the chancel. While an optimum 'single vessel' use for the entire building is incompatible with the conversion of the Nave and aisles, its lofty height will continue to be appreciated and legible through the large new entrance circulation space within the entire western bay and up through the glazed dividing wall. This will also allow appreciation of the grand ornamental western end window. The remaining four bays would be subdivided, involving the loss of the aesthetic value of the large volume of the worship space and associated evidential value of its scale, however it is considered that this loss is acceptably mitigated by the sustainable reuse of the church and the enhancement of communal and evidential value of the asset associated with the retained and fully-accessible worship space within the chancel.

Loss of significant fabric has been demonstrated to be minimal within the conversion, with the new accommodation being formed within a new independent superstructure. The existing floor construction and finishes will be lost, however this has been demonstrated to be of relatively low significance, being formed from an uneven mixture of rubble stone or brick sleeper walls, iron and timber joists, flagstones, tiles and suspended floorboards; all generally covered by loosely fitted carpet.

The existing slender (and unusual) concrete columns would continue to be partially exposed within the new apartments, allowing a continued appreciation

of the original form and structure of the building. A condition is recommended for further detailed drawings to show how the columns will be integrated in terms of their junctions and acoustic and fire seals required.

It is not clear how the existing solid (assumed lime) plastered walls would be finished or insulated within the converted areas. Details of the design and specification of any internal wall insulation and/or dry-lining system should be secured by condition. These details must demonstrate how architectural features (corbels, string courses, reveal quoins and so on) will be handled; that it is compatible with solid walls and that any potentially harmful cold bridging issues will not result.

The existing original close boarded timber ceiling would be preserved in situ and visible from within the second floor apartments and circulation corridor.

The loss of pulpit, organ and font is regrettable, however this is unavoidable for a conversion of this nature. It is understood that the Church in Wales will rehome these items, however they should form part of the historic building record to be secured by condition.

Windows: The new ground floor level windows are considered to be appropriately detailed and would be positioned within relatively discrete locations. They would be predominantly screened on the southern elevation by the church hall. On the northern elevation they would be more visible, however this change to the building's appearance and minimal loss of fabric is mitigated by their detailing and position within an expansive pennant faced wall that is set well back from prominent viewpoints and away from the more decorative and composed principle west elevation.

The replacement windows above serving first and second floors have been justified as necessary for the purposes of ventilation, maximising natural light (avoiding further insertions to the exterior envelope) and maintenance. The replacements are limited to four bays on each elevation, aligned with the new windows to be inserted at ground floor. Detailed drawings are requested by condition (at least 1:10 scale).

Alterations to the Chancel to facilitate a retained place of worship: Aside from the partitioning from the rest of the church, the most significant alteration affecting the chancel is the loss of choir stalls, floor finishes and associated changes to the carved wall panelling to facilitate the single floor level. The loss of fabric has been minimised to that necessary to reconfigure the space, with the remaining wall space beneath to be finished with a contemporary contrasting panelling. These changes are recognised as essential to provide level access across the new flexible congregation space. The reuse of the displaced high altar hardwood panelling and doors within the new western partition is welcomed and serves to further minimise the loss of fabric. Large format drawings and a method statement for the altered existing and new panelling are requested through a condition.

The plans allow for the reuse of four choir stalls within the two entrance lobbies,

a positive proposal that goes some way to mitigating their loss.

Linking extension: Following further post-application design iterations, the linking extension is now felt to represent an acceptable addition that will facilitate level access and allow enhanced community/worship use of the two buildings. The link will internalise a small section of external walling, but has been carefully designed to be read as a subservient and modern structure, attached by glazed links where necessary.

Setting and landscaping: The application has not been presented with a formal 'enabling development' case to justify the provision of the houses within the setting of the church, however it is understood that they are required in order to justify the investment in the church and to allow the Housing Association to provide a range and choice of affordable units. It is recommended that a condition be applied to the planning permission requiring practical completion of the conversion works prior to beneficial occupation of the houses.

The two semi-detached houses would be located away from the most prominent views of the church. The existing area is currently largely screened by an unattractive concrete wall and vegetation within the side garden of the vicarage. A further benefit of this location is that it would not significantly affect the original decorative iron churchyard railings, which are 'curtilage-listed' by virtue of their age, position and association with the church.

The railings are currently in a poor condition and require redecoration. It is requested that these works should be secured by condition.

The location of the bin store is not ideal in terms of the impact upon setting, however it is recognised that there are no other practicable options. The low form and simple materials should ensure that the visual impact is minimal.

Building recording: Given the extent of change, it is considered necessary to ensure that the building is fully recorded to a recognised standard. A condition to request this work is recommended.

6. EXTERNAL CONSULTEE RESPONSES

- 6.1 Glamorgan Gwent Archaeological Trust (GGAT): Having consulted their records GGAT confirms that the proposal has an archaeological restraint. To ensure work is carried out in an appropriate manner GGAT request a standard condition requiring the pre-commencement submission of a programme of historic building recording and analysis for approval by the LPA.

7. REPRESENTATIONS

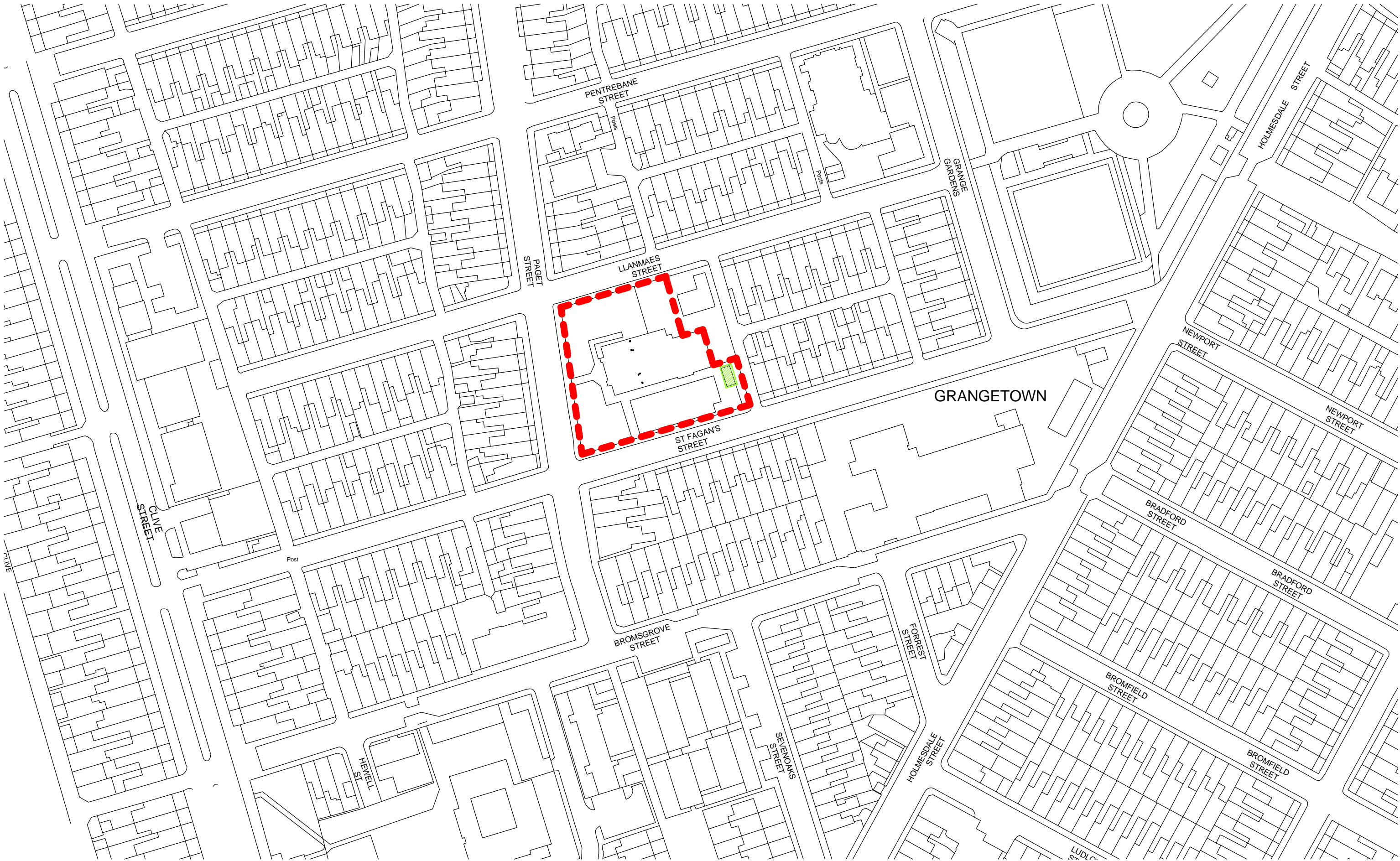
- 7.1 The application was advertised on site and in the press as affecting the setting of a listed building. Neighbours were notified. In relation to the LBC a representation has been received from the local resident at 35 Llanmaes Street objecting on the following ground: Impact of the semi-detached houses on the setting of the listed church and its landscaped grounds.

8. **ANALYSIS & CONCLUSION**

- 8.1 The main issue to assess is whether the proposals give due regard to the desirability of preserving listed buildings, their settings, and the features of special architectural or historic interest that they possess. This is covered in detail in the Conservation Officer's consultation response at 5.1.
- 8.2 The two semi-detached houses would be located away from the most prominent and significant views of the church. The existing area is currently largely screened by an unattractive concrete wall and vegetation within the side garden of the vicarage.
- 8.3 In order to ensure that the alterations will be compatible with the historic fabric and character of the building, conditions have been applied to approve further detailed drawings and specifications for specific elements. A recording condition has also been applied to address the GGAT advice.

Conclusion:

- 8.4 The proposed development would bring a vulnerable listed building back into full beneficial and sustainable use, providing 14 affordable homes and retaining a significant element of the building's intended use as a place of worship. Any negative impacts upon the building's setting, loss of fabric or aesthetic appreciation have been appropriately justified or mitigated within the submitted proposals.
- 8.5 The proposed scheme would conform with the statutory requirement to give special regard to the desirability of preserving listed buildings, or their settings, or the features of special architectural or historic interest that they possess. It would also be consistent with policies that reflect the statutory requirement, including Policies KP17 and EN9 of the LDP and national planning policy and guidance set out in Planning Policy Wales and TAN 24.
- 8.6 It is therefore recommended that listed building consent be granted subject to conditions and referral to CADW.



Revised	Description	By	Chkd By	Date
*	Initial Issue	JJ	RF	17.10.16
A	Garage demolition hatch added	JJ	RF	08.11.16

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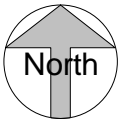
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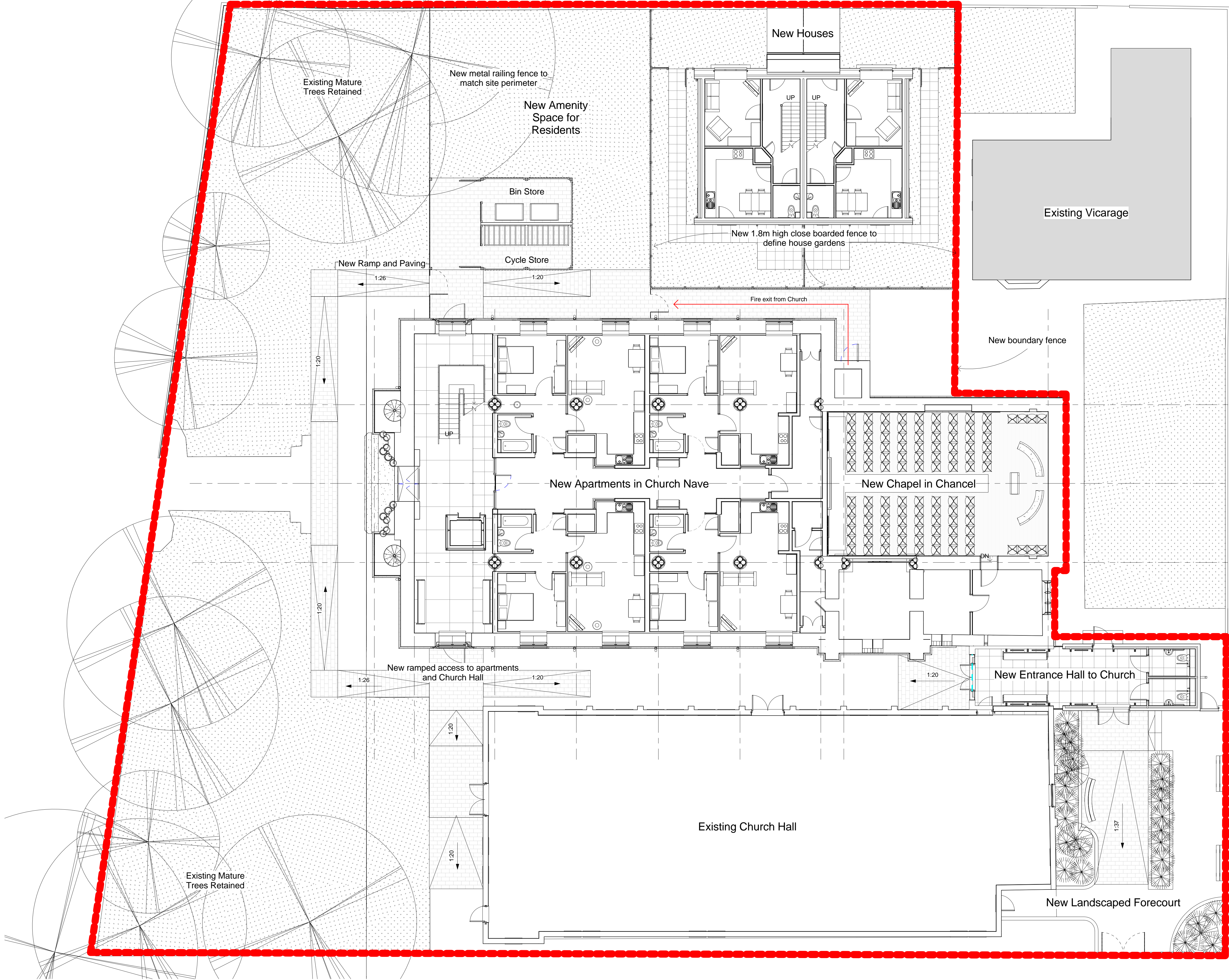


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Project St Paul's Church, Grangetown

Description Site Location Plan

Job No.	Drawing No.	Revision	A
315102	L(90)001		



Revision	Description	By	Chkd By	Date
*	Initial Issue	JJ	RF	17.10.16

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Project: St Paul's Church, Grange Town	
Description: Site Layout	
Job No.	315102
Drawing No.	L(00)150
Revision	*



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Scale @ A1	1 : 50
Status	INFORMATION
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Austin-Smith: Lord			
Project: St Paul's Church, Grange Town			
Description: North Elevation			
Job No.	Drawing No.	Revision	*
315102	L(00)300		



Revised	Description	By	Chkd	Date
*	Initial Issue	JJ	RF	17.10.16

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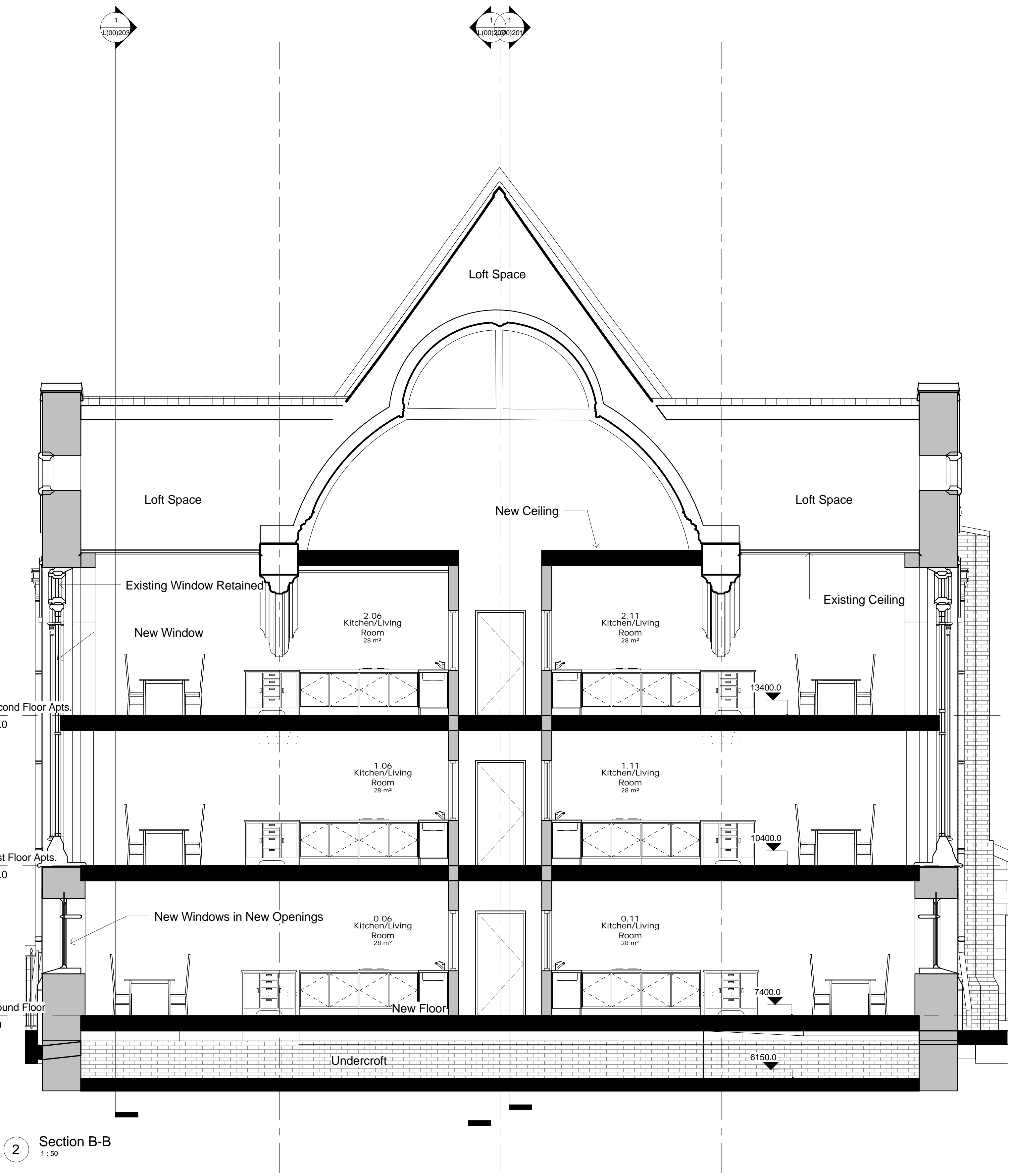
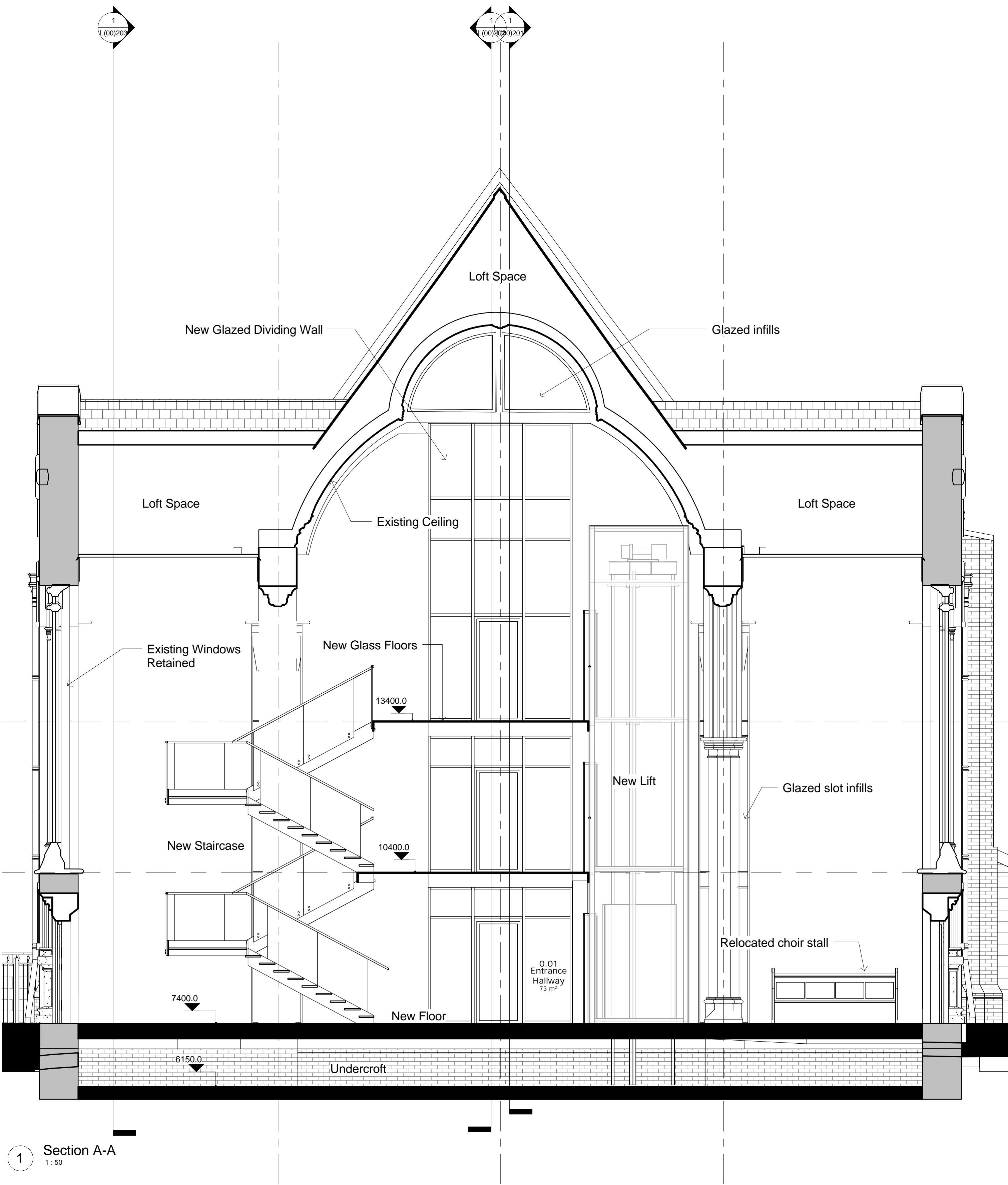
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Austin-Smith:Lord			
Project: St Paul's Church, Grange Town			
Description: Section E-L			
Job No.	Drawing No.	Revision	*
315102	L(00)203		



Revision	Description	By	Chkd By	Date
*	Initial Issue	JJ	RF	17.10.16

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Austin-Smith:Lord	
Project St Paul's Church, Grange Town	
Description Sections A-A & B-B	
Job No.	315102
Drawing No.	L(00)200
Revision	*

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COMMITTEE DATE: 21/06/2017

APPLICATION No. **17/00159/MJR** APPLICATION DATE: 26/01/2017

ED: **BUTETOWN**

APP: TYPE: Full Planning Permission

APPLICANT: Rightacres Property Company Limited

LOCATION: LAND AT DUMBALLS ROAD, BUTETOWN, CARDIFF

PROPOSAL: PROPOSED MIXED USE DEVELOPMENT COMPRISING 109 NO. 1 AND 2 BEDROOM APARTMENTS (USE CLASS C3), GROUND FLOOR FLEXIBLE COMMERCIAL UNIT (A1/A2/A3/B1/D1 USE), WITH ACCESS, DRAINAGE WORKS, CAR PARKING, CYCLE STORAGE, REFUSE STORAGE, ELECTRICITY SUBSTATION AND ASSOCIATED WORKS

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding planning obligation in agreement with the Council under **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 9.2 of this report, planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The consent relates to the following approved plans:

<i>Dwg. No.</i>	<i>Title</i>
G1358-P100A	Site Location Plan
G1358-P01	Existing Site Plan
G1358-P02A	Site Plan
G1358-P03	Ground Floor Plan
G1358-P04	First Floor Plan
G1358-P05	Second Floor Plan
G1358-P06	Typical Upper Floor Plan (3 rd – 7 th)
G1358-P07	Typical Upper Floor Plan (8 th – 15 th)
G1358-P08	16 th & 17 th Floor Plans
G1358-P09	18 th Floor Plan
G1358-P10	19 th Floor Plan
G1358-P11	20 th Floor Plan
G1358-P12	21 st Floor Plan
G1358-P13	22 nd Floor Plan
G1358-P14	Roof Plan
G1358-P15	Elevation to Dumballs Road
G1358-P16	Elevation to Canal Industrial Park
G1358-P17	Elevation to Car Park & Canal Park

G1358-P18	Elevation to Anchor Industrial Estate
G1358-P19	Plan & Elevations of Car Park Building
C5006/ DR1	Drainage Scheme
2017/.34	Landscape Proposals

Reason: For the avoidance of doubt.

3. A3 (food & drink) ground floor uses fronting Dumballs Road (as indicated on Proposed Ground Floor dwg. no. G1358-P03) shall be restricted to café/restaurant A3 uses only.
Reason: To ensure that the amenities of existing neighbours and future occupiers are protected.
4. C7X No Takeaway Sales
5. No member of the public shall be admitted to or allowed to remain on any A3 premises between the hours of 23:00 and 08.00 hrs. on any day.
Reason: To ensure that the amenities of occupiers of existing neighbours and future occupiers are protected.
6. H7G Plant Noise
7. A scheme of sound insulation works to the floor/ceiling and party wall structures between the A1/A2/A3/B1/D1 premises and the residential accommodation shall be submitted to and agreed by the Local Planning Authority in writing and implemented prior to occupation.
Reason: To ensure that the amenities of occupiers of other premises in the vicinity are protected.
8. Prior to commencement of development an acoustic report shall be submitted to and approved in writing by the LPA. The report shall consider the existing day time and night time noise levels and details of any mitigation measures that may be required as a result of the impact assessment. The scheme shall be implemented in accordance with the approved details prior to beneficial occupation.
Reason: To ensure that the amenities of future occupiers are protected.
9. G7Q Future Kitchen Extraction
10. No above-ground development shall take place until samples of the external finishing materials have been submitted to and approved by the Local Planning Authority and the development shall not be brought into beneficial use until the approved scheme is implemented.
Reason: To ensure a satisfactory finished appearance to the development.
11. No above-ground development shall take place until a scheme showing the architectural detailing of the principal elevations has been submitted to and approved in writing by the LPA and the development shall not be brought into beneficial use until the approved scheme is implemented.

Reason: To ensure a satisfactory finished appearance to the building.

12. C3S Cycle Parking

13. No development shall take place until details of the junction between the proposed access road and the highway have been submitted to and approved in writing by the Local Planning Authority. Those details shall be implemented prior to the development being put into beneficial use.

Reason: To ensure that the use of the proposed development does not interfere with the safety and free flow of traffic passing along the highway abutting the site.

14. Notwithstanding the car parking provision and details indicated on Proposed Site Plan G1358-P02revA no above ground development shall take place until full details of parking provision on the site has been submitted to and approved in writing by the Local Planning Authority. These details shall take into account the detailed landscaping scheme required by condition. The scheme shall be carried out in accordance with the approved details.

Reason: To ensure a satisfactory parking arrangement that accommodates an enhanced landscaping scheme.

15. *Highway Works:* Prior to commencement of above-ground development a scheme of environmental highway improvements to Dumballs Road in the vicinity of the site is to have been submitted to and agreed in writing with the LPA. The scheme to be in accordance with indicative *Plan 1: Proposed Scheme of Public Realm Works* which forms part of the Land Use Policy and Public Realm consultation response dated 13th March 2017, comprising resurfacing of the footway including kerbs, edging, drainage, lining and signing, street lighting, and TROs as may be required as a consequence of the scheme. The agreed scheme to be implemented to the satisfaction of the LPA prior to beneficial occupation of the development.

Reason: To facilitate safe and efficient access to and egress from the proposed development by the incoming residents, and the improvement, and reinstatement of the adjacent public highway in the interests of highway and pedestrian safety.

16. *Visibility Splay:* Prior to the commencement of development a plan showing a visibility splay which shall facilitate uninterrupted vision of the carriageway from a distance of 2.4m back from the carriageway edge at the vehicular access to a distance of 45 metres to the north, shall be submitted to and approved in writing by the LPA. No obstruction to vision exceeding one metre in height, or vegetation that shall in future exceed one metre in height, shall be placed or allowed to remain within the approved visibility splay thereafter. Reason: To ensure that the use of the proposed access does not interfere with the safety and free flow of traffic passing along the highway abutting the site, in accordance with policies T5 and T6 of the Cardiff Local Development Plan.

17. *Construction Management Plan:* Prior to commencement of development a scheme of construction management shall be submitted to and approved by the Local Planning Authority, to include details of construction traffic routes, site hoardings, site access, contractor parking and wheel washing facilities. Construction of the development shall be managed strictly in accordance with the scheme so approved.
Reason: In the interests of highway safety and public amenity.
18. *Contaminated Land Measures – Assessment:* Prior to the commencement of the development an assessment of the nature and extent of contamination shall be submitted to and approved in writing by the Local Planning Authority. This assessment shall assess any contamination on the site, whether or not it originates on the site. The report of the findings shall include:
- An intrusive investigation to assess the extent, scale and nature of contamination which may be present, if identified as required by the desk top study.
 - An assessment of the potential risks to: human health; groundwater and surface waters; adjoining land, property (existing or proposed); archaeological sites and ancient monuments; and
 - An appraisal of remedial options, and justification for the preferred remedial option(s).
- Reason: To ensure that information provided for the assessment of the risks from land contamination is sufficient to enable a proper assessment in accordance with policy EN13 of the Cardiff Local Development Plan.
19. *Submission of Remediation Scheme and Verification Plan:* Prior to the commencement of the development a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment, shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures.
Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.
20. *Undertaking of Remediation and Issue of Verification Report:* The remediation scheme as approved by the LPA must be fully undertaken in accordance with its terms prior to the occupation of any part of the development unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works. Within

6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be submitted to and approved in writing by the Local Planning Authority.

Reason :To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

21. *Identification of Unsuspected Contamination:* In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

22. *Imported soil:* Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation to be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes. Subject to approval of the above, verification sampling of the material received at the development site is required to verify that the imported soil is free from contamination and shall be undertaken in accordance with a scheme agreed with in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced.

23. *Imported aggregates:* Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation to be submitted to and approved in writing by the Local

Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes. Subject to approval of the above, verification sampling of the material received at the development site is required to verify that the imported aggregate is free from contamination and shall be undertaken in accordance with a scheme agreed with in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced.

24. *Use of site-won materials:* Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.

Reason: To ensure that the safety of future occupiers is not prejudiced.

25. C2N Drainage details

26. C7S Details of Refuse Storage

27. No above ground development shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the Local Planning Authority. These details shall be in accordance with dwg. no. 2017/.34 Landscape Proposals and shall include proposed finished levels, earthworks, hard surfacing materials, proposed and existing services above and below ground level, planting plans (including schedules of plant species, sizes, numbers or densities, and in the case of trees, planting, staking, mulching, protection, soil protection and after care methods) and an implementation programme. The scheme shall be carried out in accordance with the approved details.

Reason: To ensure adequate amenity for future occupiers.

28. C4R Landscaping Implementation

RECOMMENDATION 2: The applicant is advised that the highway works condition and any other works to existing or proposed adopted public highway are to be subject to an agreement under Section 38 and/or Section 278 Highways Act 1980 between the developer and Local Highway Authority.

RECOMMENDATION 3 : The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints and;

- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates / soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management licence. The following must not be imported to a development site:
- Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 4 : To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The detailed application proposes the construction of 109 apartments (34x1 bed; 75x2 bed) for the private rented sector (PRS) in a 23 storey residential tower block. A small scale retail/commercial/office use (94sqm A1/A2/A3/B1/D1) is proposed to the ground floor fronting Dumballs Road.
- 1.2 The tower is predominantly 20 storeys with a modelled top which varies in height from 18 to 22 storeys. The building plan form is irregular allowing the elevations to be expressed as a number of strongly articulated vertical planes. Materials are primarily facing brick (dark and buff), horizontal standing seam zinc cladding, and large format glazing.

- 1.3 A new vehicular access from Dumballs Road is proposed, located just to the north of the existing access. Surface parking for 30 cars is located at the rear of the site. Secure covered cycle parking for 115 bikes including 6 visitor spaces is also located to the rear.
- 1.4 During pre-application discussions concerns were raised over how the proposals might impact on the future redevelopment of adjacent industrial sites, and integration with redevelopment of the wider Dumballs Road area. Supporting information in the form of an illustrative masterplan to address these concerns has been provided as part of the DAS.
- 1.5 A screening opinion was issued on 11.1.17 confirming that an environmental statement is not required.
- 1.6 Statutory pre-application public consultation was carried out by the developer from 8.12.16 to 6.1.17. Site notices were posted by the applicant and the planning application documents were made available on line. Letters were sent to the adjoining owners and occupiers and to the Ward Councillor. An agent representing one of the occupiers of the Anchor Trading Estate raised concerns over noise from events held on the Trading Estate giving rise to potential objections from future occupiers of the flats. NRW, CADW, and the Local Highway Authority were consulted in accordance with statutory requirements. NRW and CADW did not raise any objections to the proposed development. No response was received from the Highway Authority.
- 1.7 The pre-application consultation undertaken by the applicant meets the requirements of the T&CP (Wales)(Amendment) Order 2016.
- 1.8 The application is supported by the following additional information:
- Pre-Application Consultation Report
 - Design and Access Statement, including illustrative masterplan of the wider area.
 - Planning Statement
 - Flood Consequences Assessment Report
 - Geo-Technical and Geo-Environmental Report
 - Drainage Scheme
 - Dumballs Road Viability Statement (Savills on behalf of applicant, Feb 17)

2. **DESCRIPTION OF SITE**

- 2.1 A flat roughly rectangular vacant 0.23ha former industrial site fronting Dumballs Road and bounded by the Canal Park Industrial Estate (in use as an automotive training centre for CAVC) to the north and east, and the Anchor Industrial Estate to the south. The latter includes office and gym uses. Canal Park recreational open space is 25m to the east of the site but there is no direct access to the park from the site. There is an electrical substation located on the northern boundary towards the rear of the site.

- 2.2 The immediate area is predominantly commercial/industrial with the recently completed CAVC building and final phase of the Fusion point development on Dumballs Road to the north of the site. In general industrial uses in the wider area are in decline, and the area between Dumballs Road and the River Taff has been identified for a large residential led (>500 dwellings) urban regeneration scheme.

3. **PLANNING HISTORY**

- 14/1912/MJR: Prior approval granted October 2014 for demolition of single and 2 storey industrial/storage units.

Related planning history on land to west of Dumballs Road

- 14/1171/MJR: Resolution to grant planning permission for modification of condition 1 of 07/01637/C to extend the period of time within which an application for approval of the reserved matters shall be made to the local planning authority.
- 14/430/DCI: Hybrid planning permission granted in August 2015 for full detail in respect of the demolition of existing industrial buildings and erection of up to 695 no. dwellings and 357sqm of A1/A2/A3/D1 floorspace, associated car parking and secure cycle storage, access, servicing and landscaping and outline with all matters reserved in respect of A1 retail, A2 financial and professional services, A3 food and drink, B1 office, C1 Hotel, C3 residential, D1 non-residential institution, D2 assembly and leisure uses, access, parking, servicing and landscaping.
- 07/1637/C: Planning permission granted in May 2011 for mixed use regeneration including residential, office, commercial, education, assembly and retail uses, open space and landscaping road, foot, cycle and water access.

4. **POLICY FRAMEWORK**

- 4.1 The following national planning policy and guidance is considered to be of particular relevance:

- 4.1 Planning Policy Wales (PPW) 2016: Ch. 4 Planning for Sustainability; Ch. 9 Housing.

- 4.2 The following Technical Advice Notes (TANs) are relevant:

- TAN 2: Affordable Housing
- TAN 12: Design
- TAN 18: Transport
- TAN 22: Sustainable Buildings

The following local planning policy and guidance is considered to be of particular relevance:

- 4.3 Cardiff Local Development Plan 2006-2026:

- KP2A Cardiff Central Enterprise Zone and Regional Transport Hub

- KP5 Good Quality and Sustainable Design
- KP7 Planning Obligations
- C1 Community Facilities
- C5 Provision for Open Spaces
- EN13 Air, Noise, Light Pollution & Land Contamination
- H3 Affordable Housing
- R8 Food & Drink Uses

4.4 Supplementary Planning Guidance

The following Supplementary Planning Guidance (SPG) is of relevance:

- Tall Buildings (2017)
- Access, Circulation and Parking Requirements (2010)
- Waste Collection and Storage Facilities (2016)
- Restaurants, Takeaways and other Food and Drink Uses (1996)
- Planning Obligations (2017)

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 Transportation: The Council's Transportation Officer confirms that the submission is considered to be acceptable in principle, subject to standard conditions and a condition requiring an adequate vision splay at the access road junction.
- 5.2 Parks Services: Under current policy the proposed development is subject to Policy 31 of the Local Plan (Provision of open space on new residential developments), which requires the provision of open space for recreational activity.
- 5.3 The Council's Supplementary Planning Guidance - Open Space requires provision of a satisfactory level and standard of open space on all new housing developments (2.43 hectares per 1000 projected population), or an off-site contribution towards existing open space for smaller scale developments where new on-site provision is not applicable.
- 5.4 As no public open space is being provided on-site, the developers will be required to make a financial contribution towards the provision of open space off-site, or the improvement (including design and maintenance) of existing open space in the locality.
- 5.5 Based on the information given, allowing for an occupancy rate of 258.92, the contribution will be £254,210. Contributions towards open space provision are derived using a formula-based calculation which takes into account, amongst other things, the size of the residential development and the projected increase in population.
- 5.6 Demand for usage of the existing open spaces would increase in the locality as a result of the development and therefore the Council considers it appropriate that an off-site contribution is made, calculated in accordance with the guidelines set out in the SPG.

- 5.7 The Public Open Space Contribution shall be used by the Council towards the design, improvement and/or maintenance of public open space within the locality of the development site. Further details will be provided.
- 5.8 The Parks Officer makes the following additional comments: Overall I have concerns about the intensity of development and large number of potential new residents given the already significant demands on quite limited amounts of open space in Butetown. Canal Park is the only large open space in this area, and given the projected development of the Bellerophon site which will generate a further large population increase, the amount of recreational space, particularly formal recreation, will be well below that required. Canal Park already serves a large population on the Bute Street side, plus other developments along Dumballs Road, with pitches being used by Butetown FC. Therefore consideration needs to be given through a masterplanning process as to how the open space in this area of Butetown can be increased.
- 5.9 The design is also very poor in terms of landscape provision, with a large building and very little landscape area around it, although I accept that roof terraces are being proposed. Given the importance of providing amenity for residents and the proven impact of landscape on improving health and wellbeing, I consider that this needs to be addressed.
- 5.10 Design of the development in relation to the streetscape along Dumballs Road is also critical in order to achieve an attractive tree lined street, with sufficient room for trees to grow without impacting on buildings. The concept masterplan doesn't seem to support this with buildings proposed close to the highway footpath, with very limited tree planting (or room to carry it out) being proposed.
- 5.11 The concept masterplan shows additional footpaths and access across Canal Park, along with a linear footpath in the park. Given the narrow nature of the park, and the presence of a full sized Welsh League Pitch, with barriers around serving Butetown FC I am unconvinced that these are workable, although happy to explore further. I enclose an image showing the current pitch, dugouts etc.
- 5.12 Open Space Provision: These comments relate to the current LDP (C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport; KP16 Green Infrastructure), and the 2017 Planning Obligations Supplementary Planning Guidance (SPG), supported by policies set out in the 2008 SPG for Open Space which set the Council's approach to open space provision.
- 5.13 The Council's LDP requires provision of a satisfactory level and standard of open space on all new housing/student developments, or an off-site contribution towards existing open space for smaller scale developments where new on-site provision is not applicable.
- 5.14 Based on the information provided on the number and type of units, I have calculated the additional population generated by the development to be 179.2. This generates an open space requirement of 0.435 ha of on-site open space

based on the criteria set for housing accommodation, or an off-site contribution of £185,929. I enclose a copy of the calculation.

- 5.15 As no public open space is being provided on-site, the developers will be required to make a financial contribution towards the provision of new open space, or the design, improvement and/or maintenance of existing open space in the locality, given that demand for usage of the existing open spaces would increase in the locality as a result of the development.
- 5.16 The use of S106 contribution from this development will need to satisfy CIL and the current distance requirements set out in the 2017 Planning Obligations SPG – play areas 600m (not applicable to student and sheltered accommodation), informal recreation 1000m, and formal recreation 1500mm, measured from edge of the site.
- 5.17 In the event that the Council is minded to approve the application, I assume it will be necessary for the applicant and the Council to enter into a Section 106 Agreement to secure payment of the contribution.
- 5.18 Consultation will take place with Ward Members to agree use of the contribution, and this will be confirmed at S106 stage. The closest area of recreational open space is Canal Park.
- 5.19 Neighbourhood Regeneration: Based on the number of bedrooms a financial contribution of £99,320 is requested for the improvement of community facilities in the vicinity of the development, in accordance with Section 8 (Community Facilities) of the Cardiff Planning Obligations 2017 Supplementary Planning Guidance.
- 5.20 Education: No consultation response received to date. In the event a response is received it will be reported to planning Committee as a late representation.
- 5.21 Housing Strategy: The Housing Strategy Officer makes the following comments:
- 5.22 In line with the Local Development Plan (LDP), an affordable housing contribution of 20% of the 109 units (22 units) is sought on this brown-field site. Our priority is to deliver affordable housing on-site and we would require detailed discussion with the applicant to ascertain if the affordable housing can be delivered successfully and sustainably on the site via a RSL partner. All affordable housing units would need to meet Welsh Government DQR standards in terms of design requirements.
- 5.23 We would be willing to discuss the delivery of the affordable housing on another site that the applicant may already own or be in the process of purchasing in the vicinity/area of the site.
- 5.24 Given the proposed design of the scheme, the practicality of managing and maintaining affordable housing on-site for a Registered Social Landlord may be unsustainable. In exceptional cases if we cannot deliver the affordable housing

on-site or off-site on another site then we would consider accepting financial contribution.

- 5.25 For information, we would seek a financial contribution of **£1,599,930** (in lieu of 22 units) which is calculated in accordance with the formula in the Planning Obligations – Supplementary Planning Guidance (2017)._
- 5.26 Drainage Management: No consultation response received to date. In the event a response is received it will be reported to planning Committee as a late representation.
- 5.27 Waste Management: The Waste Strategy and Minimisation Officer has no objection to the proposal. Waste Management will not carry keys or access codes for bin storage areas; so waste must either be presented at the entrance to the development for collection, or the access gates to the site must be left open.
- 5.28 Pollution Control (Contaminated Land): The Contaminated Land Officer makes the following observations: The Site Investigation Report submitted by the applicant is based on site based investigation works undertaken during 2014, assessed using current guidelines.
- 5.29 At the time of the investigation, access for site works was restricted due to buildings and hard standings. The risks in relation to these structures (including an underground historic fuel storage tank) and the underlying materials is therefore unknown.
- 5.30 Although the report identifies contaminants within the accessible soils and groundwater and discusses in general terms the need for remediation and possible solutions, the findings remain inconclusive without further assessment. Contamination assessment (amended) and remediation conditions are recommended in relation to this. Based on the above report, ground gas protection measures will be required and an amended ground gas condition is recommended in relation to this. Standard unsuspected contamination, imported soils/ aggregates, and use of site-won materials conditions are also requested.
- 5.31 Pollution Control (Noise & Air): The Pollution Control Officer makes the following observations: Pollution Control have served three noise abatement notices on The Depot, Dumballs Road for the following reasons: loud amplified music, singing, shouting, screaming and banging, and amplified voices.
- 5.32 The Officer confirms that The Depot accepted and signed a caution for loud amplified music in January 2017. Investigations are continuing, regarding noise coming from the venue. The latest complaint that came from a local resident regarding loud amplified music was on Saturday 11th February 2017. Unfortunately, due to unforeseen circumstances the night time noise service was not operational that evening so Noise Officers were not able to visit the residents to see if the noise constituted a statutory noise nuisance. Therefore, noise investigations in relation to this unit are continuing.

- 5.33 Having considered the documents provided to support the application I am of the opinion that an acoustic report is required in order to establish the potential impacts of existing noise sources upon the development site. The acoustic report should consider the following:
- The existing daytime and night time noise levels from the nearby industrial units at each storey of the proposed building;
 - An assessment of the expected impact the noise upon the future occupiers of the proposed building;
 - Details of any mitigation measures that may be required.
- 5.34 Given that the proposal involves the placing of residential units close to commercial noise sources, I would expect the acoustic report to be submitted for consideration and approval by the Pollution Control team prior to the determining of the application.
- 5.35 No objection subject to the provision of an acoustic assessment report in advance of determination, and the following standard conditions: sound insulation between commercial and residential uses; opening hours restriction; delivery times restriction; plant noise; future kitchen extraction; and a construction noise recommendation.
- 5.36 Trees: No existing trees will be harmed by this development and it appears highly unlikely that there is a valuable, re-usable soil resource that could be harmed. The primary consideration therefore, is the provision made for new landscaping, appropriate to the scale and context of the development.
- 5.37 Given the scale of the development and the generally industrial nature of the surrounding street-scape, one would expect that a residential development here would be landscape-led, to improve not only visual amenity, but also the 'liveability' of the environment generally. Unfortunately the provision made for soft landscaping is extremely 'Spartan' and the DAS outlines the approach – 'The development is urban and the areas of landscaping created are small'. I'm not clear why the fact that a development is urban means that landscaping is necessarily small. In the context of climate change and improving air quality, surely the extent of landscaping needs to be maximised, and a Landscape Architect employed to ensure this element of design receives appropriate consideration? Three thin verges to car-parking bays are provided, suitable only for hedging, shrubs or herbaceous planting, though the widest might just accommodate a tree subject to provision of a secondary rooting zone (soil crates). There are three areas of 'leftover' space suitable for x1 medium-large tree, a medium tree and one small-medium upright tree, again subject to the provision of secondary rooting zones. A 'street' tree is depicted by the site entrance, though consideration of the drainage plan suggests this may not be viable and the DAS suggests this planting 'needs to be predicated on the basis of a street wide solution which is so far not decided'. I strongly support the provision of a street tree (or trees), but only on the basis of a detailed understanding of all the constraints, and provision of secondary rooting zones as necessary.

- 5.38 I would strongly support amendments to design that provide for substantially increased soft landscape provision. For example, if the development was set back into the site, there may be scope for a generous soft landscaped frontage or planter, incorporating 'street' trees. Whether or not such changes are to be forthcoming, I advise that a detailed, upfront, Landscape Architect prepared landscaping scheme is submitted, comprising a scaled planting plan, plant schedule, topsoil and subsoil specification, tree pit section and plan view, planting methodology and aftercare methodology.
- 5.39 The landscaping scheme must be informed by a detailed understanding of all service constraints, and site specific product manufacturer specifications should be provided for tree pits incorporating secondary rooting zones. Target, minimum root available soil volumes for trees should be 30m³ for large trees, 20m³ for medium/medium large trees and 15m³ for small trees, provided as pits with 600mm subsoil overlain by 300mm topsoil (topsoil and subsoil to be free draining sandy loams, certified in accordance with BS 3882:2015 & BS 8601:2013, and found to be fit for purpose following a soil scientists interpretive report). I have attached an annotated version of the submitted 'Proposed Site Plan' with some suggestions based on the as submitted drawings.

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Glamorgan Gwent Archaeological Trust (GGAT): Having consulted their records GGAT has no objection to the proposals.
- 6.2 DCWW: No objection subject to a standard condition requiring provision of a detailed drainage scheme for approval by the LPA.
- 6.3 Natural Resources Wales (NRW): NRW has no objection to the development from a flood risk perspective. Based on the information NRW has identified significant concerns with regard to contamination and require further information in relation to this. Advice is also offered in relation to pollution prevention, European protected species, foul water disposal and historic landfill. The response has been forwarded to the applicant.
- 6.4 South Wales Police: No objection. Advice is offered on lighting, access control, windows and doors, CCTV, smoke/fire alarms, and cycle/bin stores. The response has been forwarded to the applicant.

7. **REPRESENTATIONS**

- 7.1 The application was advertised on site and in the press as a major application. Neighbours were notified. 1 representation has been received from a business (Cardiff Speaker Hire) on the neighbouring Anchor Industrial Estate concerned that there will be noise complaints from future residents and requesting a noise assessment be carried out on their premises.
- 7.2 Cardiff Speaker Hire test festival loud speakers and have people leaving the premises around midnight. They also provide pre-production services to film crews and theatres which makes noise during working hours. In the absence of

an upfront noise assessment they do not agree with the applicant's conclusion that there would be no conflict provided that adjoining businesses operate within the parameters of their permissions, and any events are operated in line with premises/temporary events licenses.

8. **ANALYSIS**

- 8.1 The main issues to assess are the principle of residential use on the site, the location and design of the tall building, the amenity of the future occupiers, and the nature and extent of the planning obligations.
- 8.2 The site is located within the Central Business Area (CBA) and the Central Enterprise Zone (CEZ) of the adopted Cardiff Local Development Plan 2006-2026 (LDP). As such, the main land use planning policy issues relate to:
- 8.3 Class C3 (residential) use: The application site is located within the boundary of LDP Policy KP2A (Central Enterprise Zone and Regional Transport Hub - Strategic Site), which is allocated for major employment led initiatives, focussing on financial and business services, together with other mixed uses including residential development.
- 8.4 The schematic framework for LDP Policy KP2A identifies the site as a location for residential land uses within the CEZ and the applicant, in their Design and Access Statement, has provided a schematic masterplan for the area immediately surrounding their site, identifying how it is anticipated that the proposal will integrate with wider residential development within the Dumballs Road area. Taking the above factors into consideration, the proposed residential use of the site is considered acceptable from a land use policy perspective, subject to detailed design and amenity considerations.
- 8.5 Class A1/A2/A3/B1/D1 uses: Class A1 (Shop) use: As the site is located outside the Central Shopping Area (CSA) of the City Centre and also falls outside of any designated District / Local Centres as identified within the Local Development Plan, any proposal for a Class A1 (shop) use at this location would have to satisfy the three tests of out-of-centre retail policy. In this regard and given the relatively small scale of the proposed unit (at 94sqm), an element of convenience retail could be considered acceptable to serve the newly established population and the wider residential community within the surrounding area.
- 8.6 Class A2 (Financial and Professional Services), B1 (Office) and D1 (Non-residential institution) uses: The site is located within the Central Business Area and as such, the proposed A2, B1 and D1 uses are considered acceptable in this instance.
- 8.7 Class A3 (Food and Drink) use: Policy R8 (Food and Drink Uses) of the LDP identifies the Central Business Area as an appropriate location for food and drink uses, subject to amenity considerations. Given that the application proposes 109 flats to the upper floors, the applicant will be expected to demonstrate how their proposal can address concerns over the potential

impact of a ground floor A3 use upon the amenity of residential occupiers. This could be achieved through the applicant accepting a restricted use condition, limiting any use to a café / snack bar / restaurant where the primary function is the sale and consumption of food on the premises rather than alcohol or hot food takeaways, in order to safeguard residential amenity.

- 8.8 Public Realm: This is a large scale development, where the introduction of 109 apartments will place increased pressure on the surrounding pedestrian environment.
- 8.9 Planning Policy Wales, Paragraph 3.4.3 states that 'When a new building is proposed, an existing building is being extended or altered, or a change of use is proposed, developers should consider the need to make it accessible for all those who might use the building. The appropriate design and layout of spaces in, between and around buildings, including parking provision and movement routes, is particularly important in ensuring good accessibility'. Cardiff Local Development Plan Policy KP6 (New Infrastructure) seeks that new developments will make appropriate provision for, or contribute towards, necessary infrastructure required as a consequence of proposed development, including public realm improvements.
- 8.10 To help integrate the proposed development with the surrounding area and to improve pedestrian movements to, from and around the site, the following public realm works are sought as part of the development (as identified on Plan 1): The resurfacing of the footway along the sites frontage and to the north of the site with 200x100mm red clay pavers, linking the development to recently completed works along Dumballs Road; The replacement of all concrete kerbstones; The removal of three redundant vehicle crossovers; The provision of dropped kerbs and associated tactile paving at the road junction; The replacement of two lighting columns (to match those located outside the Cardiff and Vale College); The provision of concrete edging strips to the rear of the footways adjoining areas of soft landscaping.
- 8.11 To ensure that the proposed scheme of improvements immediately surrounding the site is provided in a timely manner, it is requested that the developer undertake the public realm works as part of their development.
- 8.12 For the above reasons, the proposal is, on balance, considered acceptable in land use policy terms, subject to detailed design and amenity considerations. As referred to above, it is requested that conditions be imposed restricting the Class A3 floor space to a restaurant / snack bar / café use to help protect the amenity of residential occupiers.
- 8.13 Location of tall building: The site is located in LDP strategic site KP2(A) Cardiff Central Enterprise Zone & Regional Transport Hub, allocated for a major employment-led initiative including a Regional Transport Hub together with other mixed uses. Immediately to the west of the application site, and forming part of the strategic site, is a large industrial site between Dumballs Road and the River Taff which has planning permission (14/430/DCI) for a high density predominantly residential development (c.695 dwellings). This includes a 16

storey courtyard residential scheme fronting Dumballs road and located directly opposite the application site. The principle of tall buildings in this location has therefore been established.

- 8.14 An indicative sketch submitted as part of the DAS illustrates how the proposals for a tall building at this location do not compromise the development of the triangle land to the south of the site, and how the development would relate to the consented Dumballs Road residential scheme in the event that this scheme, or something similar, is implemented.
- 8.15 In accordance with Tall Buildings SPG 2017 the tower is located in a highly sustainable location, 500m from the city centre. Because it is sited on the bend and directly fronting Dumballs Road it effectively acts as a visual stop in vistas from the north and south. Active uses are provided at ground floor and the footprint and height of the tower results in a slender form. Articulation and design provide vertical emphasis and visual interest and it is considered that the tower makes a positive contribution to Cardiff's skyline.
- 8.16 It is important to note in this context that the tower will in the future form part of a high density residential mixed use quarter, in accordance with the Local Development Plan Schematic Framework for Strategic Site KP2(A).
- 8.17 Subject to conditions controlling type and quality of cladding materials and architectural detailing the design meets the requirements of the Tall Buildings SPG and is considered acceptable.
- 8.18 Amenity of future occupiers: The Pollution Control (Noise & Air) consultation response notes that The Depot restaurant, located on Dumballs Road approximately 70m to the south east of the application site, is under investigation from noise abatement officers following a number of complaints about late night noise from local residents.
- 8.19 In the light of this ongoing issue, and the fact that the application is located next to an industrial estate, the PC officer has requested a noise assessment survey prior to determination of the application.
- 8.20 A representation has also been received from one of the businesses on the Anchor Industrial Estate (Cardiff speaker Hire) raising concerns over the potential impact on their business of possible noise complaints from future occupiers, and requesting that a noise assessment be carried out.
- 8.21 In general it should be noted that under the LDP the Dumballs Road area is no longer designated for Business, Industry and Warehouse uses. The change of designation reflects Council aspirations for the area to become part of the city centre, and to some extent this is reflected in the changing nature of the area which is becoming increasingly mixed use, with significant residential development to the south. This process is likely to accelerate as residential development comes forward on the large former industrial site to the west of Dumballs Road.

- 8.22 However the fact remains that the proposal is for 109 dwellings and the site is sandwiched between 2 industrial estates which are home to several businesses. The potential impact of noise complaints from future occupiers of the development on existing businesses is therefore a material planning consideration.
- 8.23 In relation to The Depot it should be noted that planning permission 15/1076/MNR is for a 3 year temporary change of use to restaurant use, that opening hours are restricted to 10.00 am to 11.30 pm, and that a hot food takeaway use is not permitted. Should The Depot apply to extend its temporary permission the onus would be on the applicant to demonstrate that it can effectively mitigate the noise its operation causes so that nearby residential amenity is not disturbed, especially given that further housing development is likely to emerge as part of the strategic allocation. Furthermore it is not considered reasonable to expect the proposed development to mitigate against an existing development that is causing a statutory noise nuisance.
- 8.24 Given the above the submission of a noise assessment prior to determination of the application is not considered necessary. However the impact of the development on adjacent businesses is a material planning consideration and a condition is therefore attached requiring a noise assessment to be carried out prior to commencement of development, and the necessary mitigation measures to be put in place prior to beneficial occupation. The applicant is advised to liaise closely with Pollution Control (Noise & Air) over the scope and methodology of the assessment.
- 8.25 Access and Parking provision: The proposal makes use of the existing access and is acceptable subject to a condition requiring a visibility splay to the north. Parking provision is policy compliant.
- 8.26 Representations: The concerns raised in the representation from Cardiff Speaker Hire are addressed above in the section entitled 'Amenity of Future Occupiers'.
- 8.27 Section 106 obligations: The total s106 financial contribution requested to date is £1,885,180. The breakdown is as follows:
- Affordable housing £1,599,930 (in lieu of 22 units)
 - Public open space £185,930
 - Community facilities £99,320
- The above sums are calculated in accordance with Council policy and guidance.
- 8.28 The applicant provided a viability appraisal, prepared by Savills and dated January 2015, which concludes that any 106 requirements to provide affordable housing or other 106 contributions will render the scheme unviable.
- 8.29 In accordance with the established practice of obtaining an independent assessment of viability appraisals presented in support of planning applications, the Council commissioned the District Valuer (DV) to prepare an assessment of Savill's viability appraisal. The DV's draft report (Review of

Development Viability in Respect of Eveleigh Site, 14 Dumballs Road (DVS, 4th April 2017) concluded that the level of Section 106 obligations sought by the Council rendered the scheme unviable.

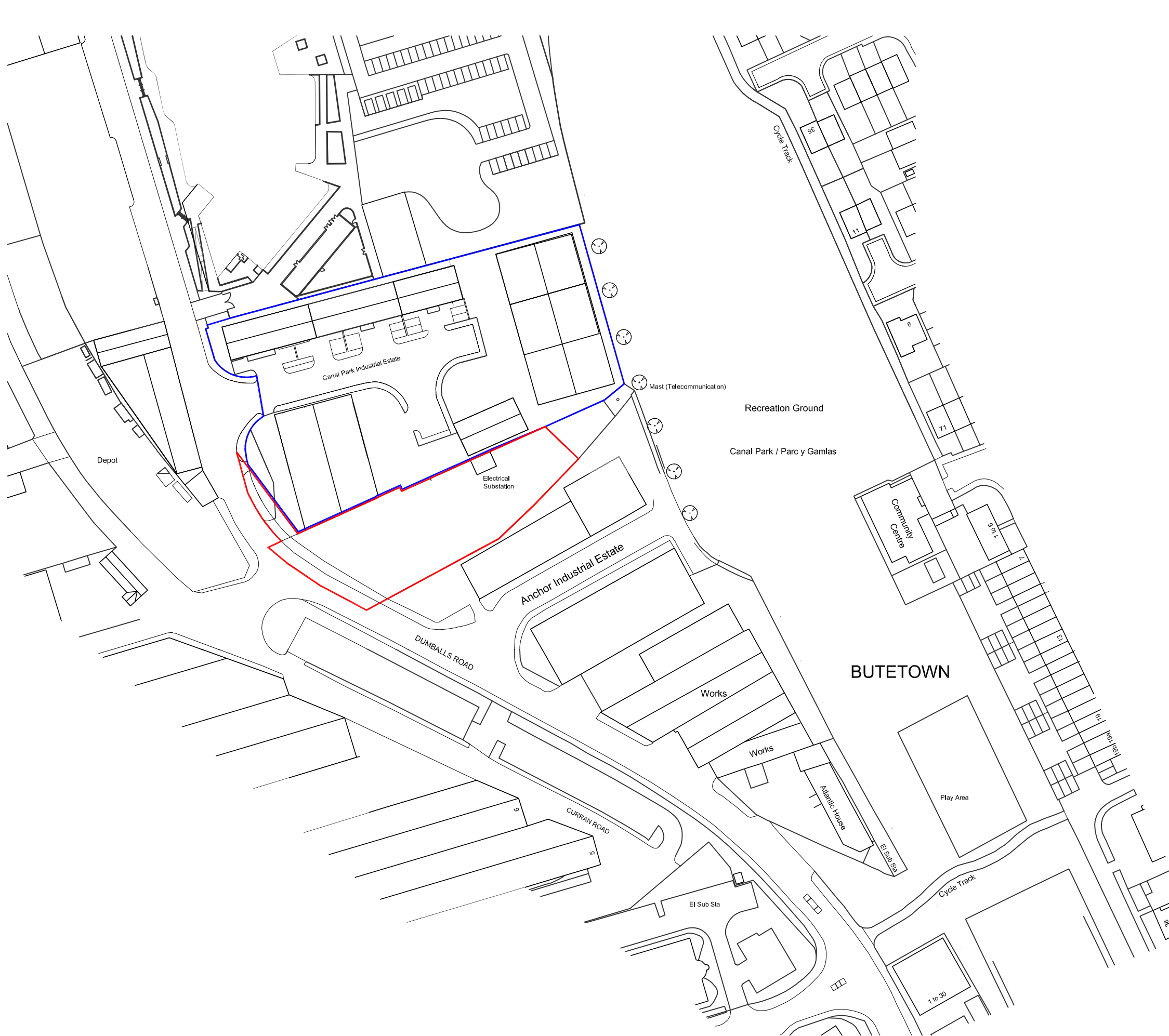
- 8.30 Section 106 obligations are required to meet planning policy and guidance, and national planning obligations tests, and are also subject to viability. Notwithstanding the viability exercise carried out by the applicant and verified by the District Valuer the view of the LPA is that a significant market housing scheme on a site close to the city centre, that does not offer anything towards the improvement of local community facilities or open space is not in general policy compliant, and cannot therefore be recommended for approval.
- 8.31 In light of this the developer has offered the sum of £100,000 towards community facilities and open space, to be payable on beneficial occupation of the scheme.
- 8.32 Having considered the contents and conclusion of the DV's report, and in the interests of enabling appropriate development on Dumballs Road, it is considered that the sum offered and the terms are acceptable. To protect the Council's position the agreement shall include a provision enabling the viability of the scheme to be reviewed in the event that the scheme is not progressed within an agreed time period, such period to be 12 months commencing on the date of the planning permission.
- 8.33 It is proposed that the sum of £100,000 be allocated to the service areas on a pro-rata basis, as follows:
- £65,000 for improvements to public open space in the vicinity, namely Canal Park.
 - £35,000 for improvements to community facilities in the vicinity.

9. **CONCLUSION**

- 9.1 In conclusion the proposals redevelop a vacant plot and provide 109 new dwellings in a highly sustainable location. The proposed use, location and design of the tall building, access and parking provision, and amenity of future occupiers are all acceptable.
- 9.2 The granting of planning permission is recommended subject to conditions being imposed and a legal agreement (Section 106) being signed to secure the following:
- £65,000 towards the design, improvement and/or maintenance of public open space within the vicinity of the development site. The closest area of recreational open space is Canal Park;
 - £35,000 towards the improvement of community facilities in the vicinity eg. Butetown Community Centre, Butetown Youth Pavilion, Channel View Leisure Centre, local shops on Bute Street and James Street, and local community venues run by the voluntary sector in the ward;
 - Improvement works to the adjacent footway under a Section 278 agreement, as indicated on Plan 1: Proposed Scheme of Public Realm

Works which forms part of the Land Use Policy and Public Realm consultation response dated 13th March 2017. To include:

- The resurfacing of the footway along the sites frontage the site with 200x100mm red clay pavers, linking the development to recently completed works along Dumballs Road;
- The replacement of all concrete kerbstones;
- The provision of dropped kerbs and associated tactile paving at the access road junction;
- The replacement of two lighting columns (to match those located outside the Cardiff and Vale College);
- The provision of concrete edging strips to the rear of the footways adjoining areas of soft landscaping.
- The 106 legal agreement shall include a provision enabling the viability of the scheme to be reviewed in the event that the scheme is not progressed within an agreed time period, such period to be 12 months commencing on the date of the planning permission.

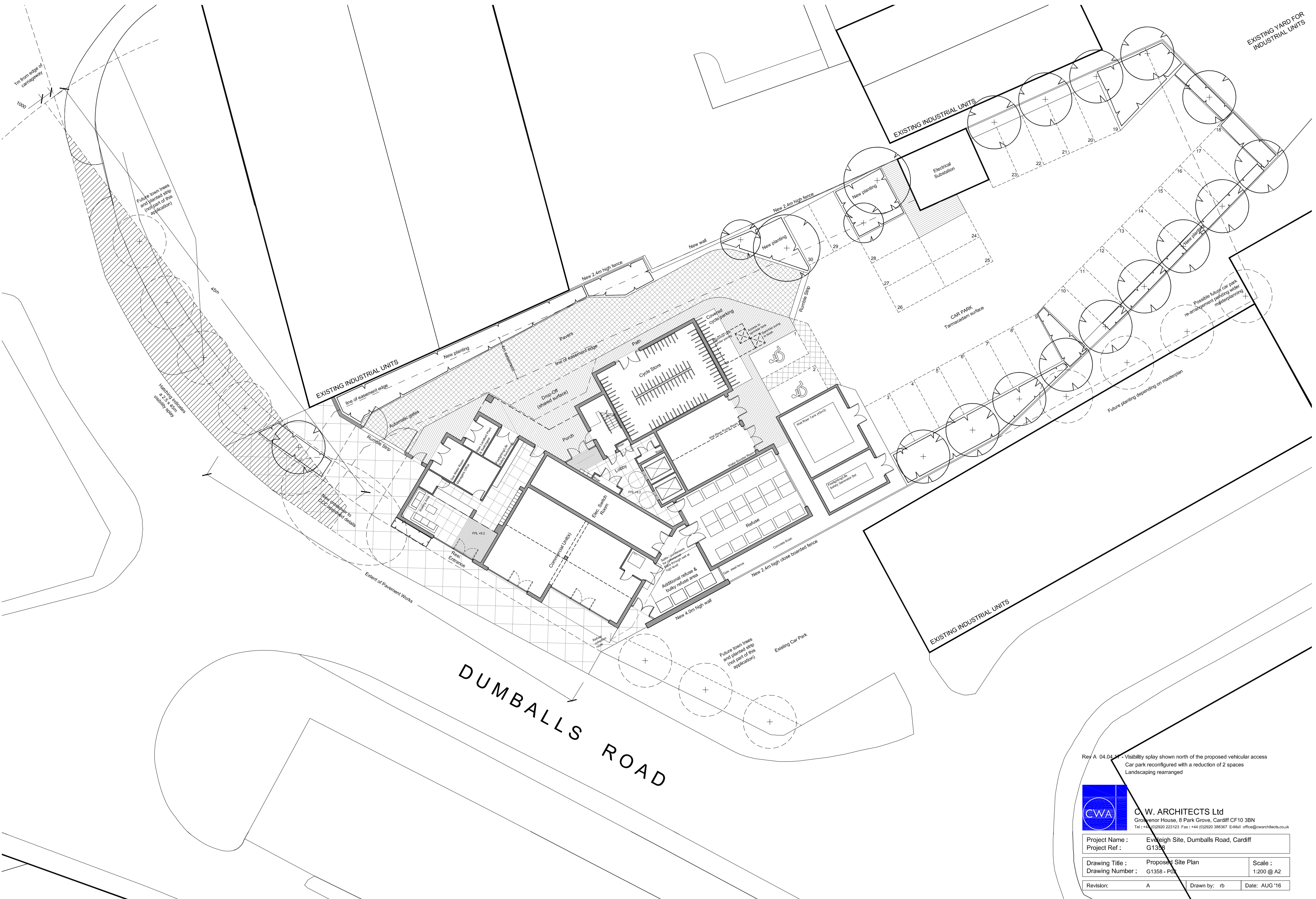


Rev A 04.04.17 - Red line amended. Blue line added



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Project Name : Eveleigh Site, Dumballs Road, Cardiff	
Project Ref : G1358	
Drawing Title : Site Location Plan	Scale : 1:1250 @ A3
Drawing Number : G1358 - P100	
Revision: A	Drawn by: rb Date: AUG '16



Rev A 04.04.17 - Visibility splay shown north of the proposed vehicular access
Car park reconfigured with a reduction of 2 spaces
Landscaping rearranged



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Project Name :	Eveleigh Site, Dumballs Road, Cardiff		
Project Ref :	G1358		
Drawing Title :	Proposed Site Plan	Scale :	1:200 @ A2
Drawing Number :	G1358 - P02		
Revision:	A	Drawn by: rb	Date: AUG '16

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COMMITTEE DATE: 21/06/2017

APPLICATION No. **17/00171/MJR** APPLICATION DATE: 03/02/2017

ED: **ADAMSDOWN**

APP: TYPE: Outline Planning Permission

APPLICANT: Amos Projects Ltd

LOCATION: THE CITADEL, PEARL STREET/SPLOTT ROAD,
ADAMSDOWN, CARDIFF. CF24 1HD

PROPOSAL: CONSTRUCTION OF RESIDENTIAL DEVELOPMENT OF 17 X
1 BED AND 1 X 2 BED APARTMENTS, PARKING, CYCLE,
REFUSE AND AMENITY FACILITIES

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding planning obligation in agreement with the Council under **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 8.9 of this report, planning permission be **GRANTED** subject to the following conditions :

1.
 - A. Approval of the details of the access, appearance, landscaping layout and scale of the development and the landscaping of the site (hereinafter called "the reserved matters") shall be obtained from the Local Planning Authority in writing before any development is commenced.
 - B. Plans and particulars of the reserved matters referred to in condition 1A above, relating to the layout and appearance of any buildings to be erected and the landscaping of the site, shall be submitted in writing to the local planning authority and shall be carried out as approved.
 - C. Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.
 - D. The development hereby permitted shall be begun either before the expiration of five years from the date of this permission or before the expiration of two years from the date of the last of the reserved matters to be approved, whichever is the later.

Reasons:

 - A. In accordance with the provisions of Article (3)1 of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012.
 - B, C and D. In accordance with the provisions of Section 92 of the Town and Country Planning Act 1990.

2. The reserved matters shall have regard to the illustrative drawings

AL(01)10 Rev A, AL (01) Rev B, AL(01) 01 Rev D. and advice contained within the councils approved Residential Design Guide (January 2017)

Reason: To ensure an orderly form of development in accordance with policy KP5 of the adopted Cardiff Local Development Plan (2016-2026).

3. The height and footprint shall not exceed that show on plan number AL (01) Rev B, AL(01) 01 Rev D.

Reason: To ensure an orderly form of development in accordance with policy KP5 of the adopted Cardiff Local Development Plan (2016-2026).

4. The reserved matters shall ensure the development does not exceed 17 x 1 bedroom flats and 1x 2 bedroom flat.

Reason: To ensure an acceptable form and density of development in accordance with policy KP5 and H5 of the adopted Cardiff Local Development Plan (2016-2026).

5. The parking provision shall accord with Policy T5 (Managing Transport Impacts) of the Cardiff Local Development Plan 2006-2026.

Reason: To ensure that the use of the proposed development does not interfere with the safety and free flow of traffic passing along the highway in accordance with Policy T5 of the Cardiff Local Development Plan 2006-2026.

6. Prior to commencement of development a construction management plan shall be submitted to and approved in writing with the Local Planning Authority the submitted management plan should include, but not be limited to, hoarding, site access, intended vehicle routes, hours of operation, dust suppression/mitigation, wheel washing, details of materials storage.

Reason: To mitigate against any adverse impacts of development.

7. No development shall be undertaken until an acoustic report has been submitted to and approved in writing with the Local Planning Authority. The report should consider but not limited to the following:

1. The existing daytime and night time noise levels from the nearby roads at each residential storey of the proposed building;
2. The existing daytime and night time noise levels and vibration levels from the nearby railway at each residential storey of the proposed building;
3. Proposed noise levels for any plant associated with the proposed development (including the likes of air conditioning units with associated residential units), the assessment shall ensure the noise emitted from fixed plant and equipment on the site achieves a rating noise level of background -10dB at the nearest noise sensitive premises when measured and corrected in accordance with BS 4142: 2014 (or any British Standard amending or superseding that standard).
4. An assessment of the expected impact the noise from the above

sources will have upon the future occupiers of the proposed building;

5. Details of any mitigation measures that may be required as a result of the impact assessment.

The approved details shall be implemented prior to beneficial occupation.

Reason: To ensure the amenity of future occupiers in accordance with Policy EN13 of the Cardiff Local Development Plan 2006-2026.

8. Prior to commencement of development a scheme shall be submitted to and approved in writing by the Local Planning Authority to provide that all habitable rooms exposed to external road traffic noise in excess of 63 dBA Leq 16 hour [free field] during the day [07.00 to 23.00 hours] or 57 dBA Leq 8 hour [free field] at night [23.00 to 07.00 hours] shall be subject to sound insulation measures to ensure that all such rooms achieve an internal noise level of 40 dBA Leq 16 hour during the day and 35 dBA Leq 8 hour at night. The submitted scheme shall ensure that habitable rooms subject to sound insulation measures shall be provided with acoustically treated active ventilation units. Each ventilation unit (with air filter in position), by itself or with an integral air supply duct and cowl (or grille), shall be capable of giving variable ventilation rates ranging from:
 - 1) an upper rate of not less than 37 litres per second against a back pressure of 10 newtons per square metre and not less than 31 litres per second against a back pressure of 30 newtons per square metre, to
 - 2) a lower rate of between 10 and 17 litres per second against zero back pressure.

No habitable room shall be occupied until the approved sound insulation and ventilation measures have been installed in that room. Any private open space (excepting terraces or balconies to any apartment) shall be designed to provide an area which is at least 50% of the area for sitting out where the maximum day time noise level does not exceed 55 dBA Leq 16 hour [free field].

Reason: To ensure that the amenities of future occupiers are protected in accordance with Policy EN13 of the Cardiff Local Development Plan 2006-2026.

9. Prior to commencement of development a scheme shall be submitted to and approved in writing by the Local Planning Authority to provide that all habitable rooms exposed to external railway noise in excess of 66 dBA Leq 16 hour (free field) during the day (07.00 to 23.00 hours) or 59 dBA Leq 8 hour (free field) at night (23.00 to 07.00 hours) shall be subject to sound insulation measures to ensure that all such rooms achieve an internal noise level of 40 dBA Leq 16 hour during the day and 35 dBA Leq 8 hour at night. The submitted scheme shall ensure that habitable rooms subject to sound insulation measures shall be provided with acoustically treated active ventilation units. Each ventilation unit

(with air filter in position), by itself or with an integral air supply duct and cowl (or grille), shall be capable of giving variable ventilation rates ranging from:

- 1) an upper rate of not less than 37 litres per second against a back pressure of 10 newtons per square metre and not less than 31 litres per second against a back pressure of 30 newtons per square metre, to
- 2) a lower rate of between 10 and 17 litres per second against zero back pressure.

No habitable room shall be occupied until the approved sound insulation and ventilation measures have been installed in that room. Any private open space (excepting terraces or balconies to any apartment) shall be designed to provide an area which is at least 50% of the area for sitting out where the maximum day time noise level does not exceed 55 dBA Leq 16 hour [free field].

Reason: To ensure that the amenities of future occupiers are protected in accordance with Policy EN13 of the Cardiff Local Development Plan 2006-2026.

10. Prior to commencement of development a scheme shall be submitted to and approved in writing by the Local Planning Authority to provide that the dwellings are designed and constructed so as to ensure that vibration dose values do not exceed 0.4m/s^{1.75} between 07.00 and 23.00 hours, and 0.26m/s^{1.75} between 23.00 and 07.00 hours, as calculated in accordance with BS 6472:1992, entitled "Guide to Evaluation of Human Exposure to Vibration in Buildings", [1Hz to 80Hz]. The dwellings shall be constructed in accordance with the approved scheme.

Reason: To ensure that the amenities of future occupiers are protected in accordance with Policy EN13 of the Cardiff Local Development Plan 2006-2026.

11. The proposed refuse storage both internal and external shall accord with the Council adopted Policy W2 of the Cardiff Local Development Plan (2006-2026).

Reason: To ensure acceptable level of refuse provision in accordance with Policy W2 of the Cardiff Local Development Plan (2006-2026).

12. No development shall commence until a drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall provide for the disposal of foul, surface and land water, and include an assessment of the potential to dispose of surface and land water by sustainable means. The scheme shall be implemented in accordance with the approved details prior to the occupation of the development.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment. In accordance with Policy EN10 of the Cardiff Local Development Plan (2006-2026).

RECOMMENDATION 2 : To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 3: The applicant is advised to contact Welsh Water quoting reference number PLA0026191 on 0800 917 2652 to ensure the development does not cross a public sewer.

RECOMMENDATION 4: The applicant is advised that prior to undertaking any works to contact Network Rail quoting reference P/TP17/0111/BM on 0117 3721125.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 Outline permission is sought for 17x1 bedroom and 1x 2 bedroom apartments (18 apartments in total). All matters are reserved for future consideration; therefore, this application is solely looking at the principle of the development.
- 1.2 Illustrative plans have been submitted, reference AL(01) 10 Rev B, AL (01) 01 Rev C.
- 1.3 The application has been subject of a statutory pre-application consultation (PAC) for which a PAC report has been submitted. A bat survey report (October 2016) has also been submitted.

2. **DESCRIPTION OF SITE**

- 2.1 The plot is of an irregular shape and set down from the adjoining Splott Road. Vehicular access to the site is via Pearl Place. The site currently contains the former Mount Hermon Methodist Chapel, which has been closed and derelict since 2002. The current building is in a poor state of repair i.e roof, windows etc are all missing. To the north-west is a traditional row of two storey houses of which no. 26 is attached to the current building. Forming the south-eastern boundary is the main Swansea- London Railway line.

3. **SITE HISTORY**

- 3.1 16/02213/MNR- Prior approval of the demolition of the Citadel building – granted
- 3.2 06/01346/C- Eleven self-contained flats (within the existing building) with ancillary parking – approved

4. **POLICY FRAMEWORK**

- 4.1 Planning Policy Wales Ed. 9 (2016);
- 4.2 Technical Advice Note (TAN): 5 (Nature Conservation and Planning), 12 (Design), 18(Transportation);
- 4.3 The Cardiff Local Development Plan 2006-2026 provides the local planning policy framework. Relevant policies include:

KP5: Good Quality and Sustainable Design;
KP6: New Infrastructure;
KP7: Planning Obligations;
KP8: Sustainable Transport;
KP14: Healthy Living;
KP15: Climate Change;
H3: Affordable Housing;
T1: Walking and Cycling
T5: Managing Transport Impacts;
T6: Impact on Transport Networks and services;
EN7: Priority Habitats and Species;
EN 8: Trees, Woodlands and Hedgerows;
EN10: Water Sensitive Design;
EN13: Air, Noise, Light Pollution and Land Contamination.
C1: Community Safety and Creating Safe Environment
C5: Provision for Open Space, Outdoor Recreation, Children's' Play and Sport;
W2: Provision for Waste Management facilities in Development

- 4.4 Further advice is provided in the following adopted Supplementary Planning Guidance documents:
Planning Obligations (January 2017);
Cardiff Residential Design Guide (January 2017);
- 4.5 The documents below were approved as supplementary guidance to the City of Cardiff Local Plan which was superseded by the Cardiff Local Development Plan on 28th January, 2016. The Council will shortly be embarking on a programme of updating and revising previously approved SPG. Notwithstanding this position, the advice contained within the SPG is consistent with the aims of relevant LDP policies and therefore remains pertinent to the consideration of the current application, assisting in informing the assessment of relevant matters.

Access, Circulation and Parking (January, 2010);
Trees and Development (March, 2007);
Biodiversity (part 1&2) (June 2011).

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 Pollution Control (Noise and Air): No objection subject to noise conditions.
- 5.2 Operational Manager (Transportation): No objection subject to conditions.
- 5.3 Housing Strategy Manager: No objection subject to a financial contribution.
- 5.4 Parks Services Manager: No objection subject to a financial contribution
- 5.5 OM Highways (Drainage) has been consulted, and no comments have been received.
- 5.6 Waste Manager: No objection subject to financial contribution for the provision of waste bins for the proposed development.

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Welsh Water: No objection subject to a drainage condition.
- 6.2 Network Rail: No objection subject to all works being on the applicant's land.
- 6.3 Glamorgan Gwent Archaeological Trust: No objection.

7. **REPRESENTATIONS**

- 7.1 The application has been publicised by neighbour notification letters with additional publicity undertaken by a site notice. Seven letters have been received, raising objections on the following grounds:
 - (i) The proposals are an overdevelopment of the site;
 - (ii) The proposals are out of keeping with the area;
 - (iii) There is insufficient parking proposed;
 - (iv) Concerns over safety and security as the rear of the site will be used for access;
 - (v) The loss of historic environment;
 - (vi) There is too much development going on in the area causing inconvenience to local residents;
 - (vii) There are too many flats and insufficient number of family homes;
 - (viii) The design would indicate students and if this was the case, there would be issues of drunkenness and litter from the occupiers.

8. **ANALYSIS**

- 8.1 **Key issues are:**
 - The impact upon the character of the area,
 - Parking and access considerations,
 - The impact upon adjoining properties,
 - The impact upon future occupiers;
 - The provision of affordable housing;

The impact upon the railway line.

8.2 Impact upon the Character of the Area

Illustrative plans show a modern design of a number of interlinking blocks to a maximum height of 4 storeys. An outline application has been approved, in principle, by committee on the former bingo site (planning reference 15/02771/MJR) which is opposite this application, and is also of a modern design. It is therefore considered that the principle of a modern block form, in terms of scale and massing would not be out of character with the area. However, architectural details, detailed design and materials are all matters to be considered at reserved matters stage

8.3 Parking and Access

Both national and local planning policies seek to reduce car dependence. The OM (Transport) advised that given the highly sustainable location of the development, being well served by public transport, the need for parking is considered to be reduced. Whilst the concerns from residents over the proposed access point from Pearl Place are noted, the Council's Highways OM (Transport) raises no objection in principle to the proposed access.

8.4 Impact upon Adjoining Properties

Whilst all matters are reserved, officers have based their recommendation upon the illustrative plans. Whilst noting the outline of the existing building, as shown on plan number AL(01) 10 Rev B, it is considered that the illustrative scale and massing would not result in an overbearing and un-neighbourly form of development in relation to the existing terraced properties.

In terms of the adjoining properties amenity and privacy, based upon the illustrative plans there may be a number of small windows that overlook no 26 Pearl Street at a distance of 3.5 metres. If any reserved matters scheme did include these windows, they would require further assessment in respect of privacy impact.

Based upon the illustrative design and having regard to the potential orientation, it is considered that the proposal would not undermine the amenity of the terraced properties.

8.5 Impact upon Future Occupiers

National Planning Policy and the Council's design policies seek good design that has regard to the future occupiers, in terms of amenity (internal/external) privacy, access and parking provision.

Based upon the illustrative plans, the size of each residential unit (minimum of 40m²) is considered acceptable.

Given the location of the site there are additional considerations, outlined in

TAN 11 in relation to residential development near railway lines, these being of noise and vibration. The Council's Pollution Control (Noise and Air) Manager has been consulted and raises no objection in principle, but requires a number of design features to be conditioned.

Given the shape of the plot and site context, it is noted that the proposed amenity space as shown in the illustrative plans is limited, but does enjoy a southerly aspect and is safe, secure and private. Whilst the bins could be sited further away from the amenity space and more conveniently located towards the Pearl Place entrance, this is a matter that can be addressed at reserved matters stage.

The Council's Open Space Policy and SPG seeks provision for public open space within a development, however, it does allow for a financial contribution. As stated above the ability to provide on-site public open space is limited and therefore the contribution of £24,797 has been sought and agreed with the applicant, based upon the illustrative plans

8.6 Affordable Housing

Policy H3 requires residential development above 5 units to contribute to affordable housing provision. On brownfield sites the Policy will seek to achieve 20% affordable housing on-site, however there is provision within the policy to allow a financial contribution where this cannot be achieved. The Council's Housing Strategy Manager has been consulted and based upon the illustrative plans would require a financial contribution of £250,560 in this instance.

8.7 Impact upon the Rail Network

The south eastern boundary of the site abuts the Great Western railway. Network Rail have been consulted and have no objections in principle but require that no development overhangs or is on Network Rail land.

8.8 Other Matters not Addressed Above

8.8.1 The illustrative plans show the development to be one bedroom apartments and make no indication of any restrictions upon who could occupy these units. The concerns of residents regarding the increase in drunkenness and anti-social behaviour from the presence of students is not a material planning issue.

8.8.2 Concerns over the lack of family housing within the area are noted. However, the proposed site is constrained and does not lend itself to deliver larger units and remain viable. There are also developments for flatted accommodation in the immediate vicinity. It is also recognised that there is housing need in the area for smaller units and by virtue of the applicant providing an off-site contribution, there is potential for further provision of a range and choice of affordable housing, including family accommodation.

8.8.3 CADW have been asked if they would consider spot listing the building but

given its condition and that there better examples of similar buildings CADW have advised that the building is not worthy of listing. A structural engineers report was commissioned for the demolition (prior approval application) which indicated that the building is in a dangerous state of repair. Given this information it is considered that renovating the existing building is not feasible in this instance.

8.9 **Conclusion**

For the reasons outlined above, the proposed development is considered acceptable. National Planning Policy and CIL regulations define the legal requirements for a valid Planning obligation. The Council's approved Planning Obligations SPG provides further guidance. The following financial contributions are requested:

£250,560 towards affordable housing provision
£24,797 for public open space in lieu of on-site requirements;
£1,585 for waste management.

It is considered that the above requests meet the necessary legal tests and policy requirements. The agent has confirmed that their client is willing to enter into an agreement to secure these contributions.

9. **Legal Considerations**

9.1 ***Crime and Disorder Act 1998***

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 ***Equality Act 2010***

The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. Having due regard to advancing equality involves:

removing or minimising disadvantages suffered by people due to their protected characteristics; taking steps to meet the needs of people from protected groups where these differ from the need of other people; and encouraging people from protected groups to participate in public life or in other activities where their participation is disproportionately low.

The above duty has been given due consideration in the determination of this application.

It is considered that there would be no significant or unacceptable impact upon persons who share a protected characteristic, over and above any other

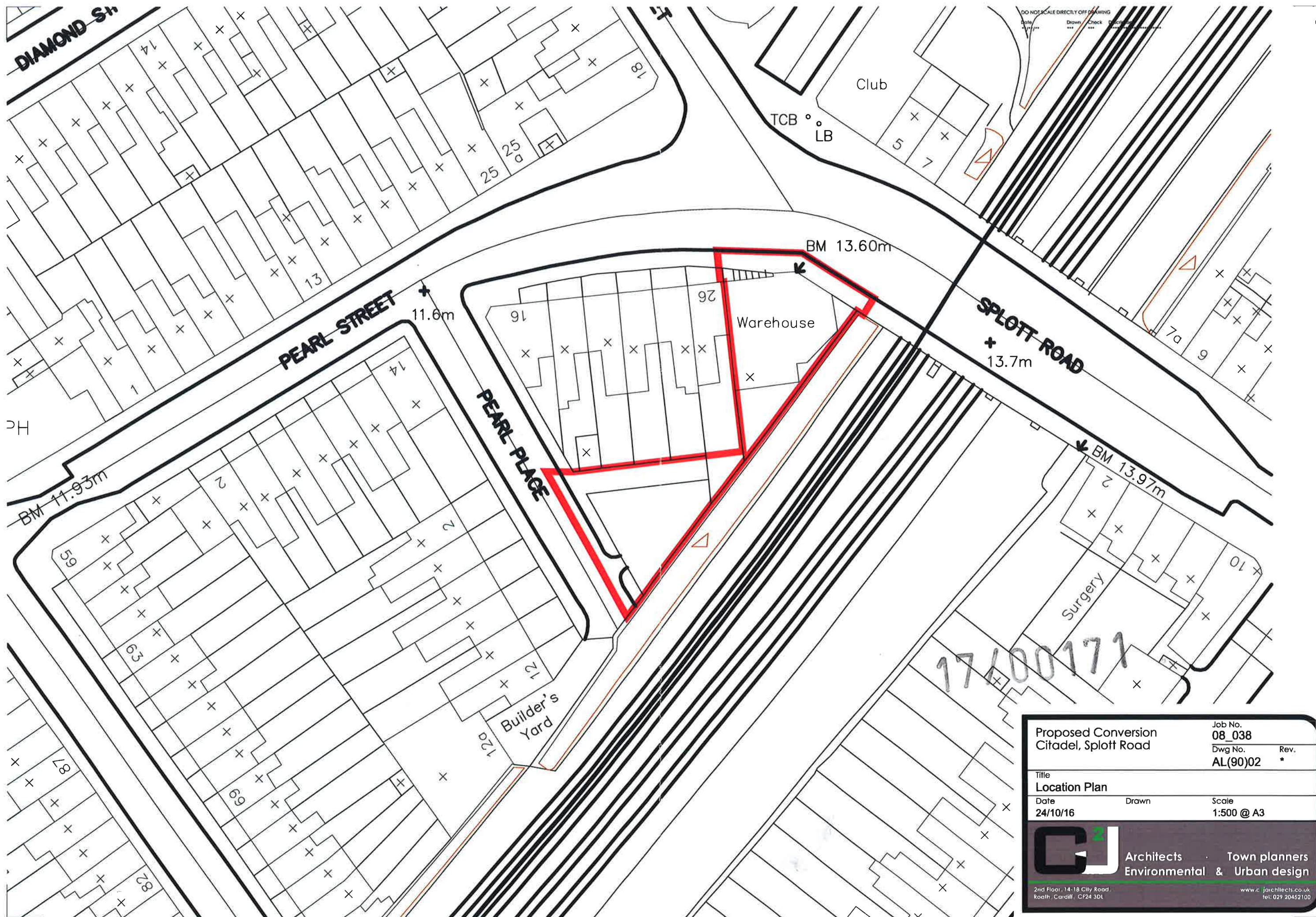
person, as a result of the proposed decision.

9.3 ***Planning (Wales) Act 2015 (Welsh language)***

Section 31 of the Act clarifies that impacts on the Welsh language may be a consideration when taking decisions on applications for planning permission so far as it is material to the application. This duty has been given due consideration in the determination of this application. It is considered that there would be no material effect upon the use of the Welsh language in Cardiff as a result of the proposed decision.

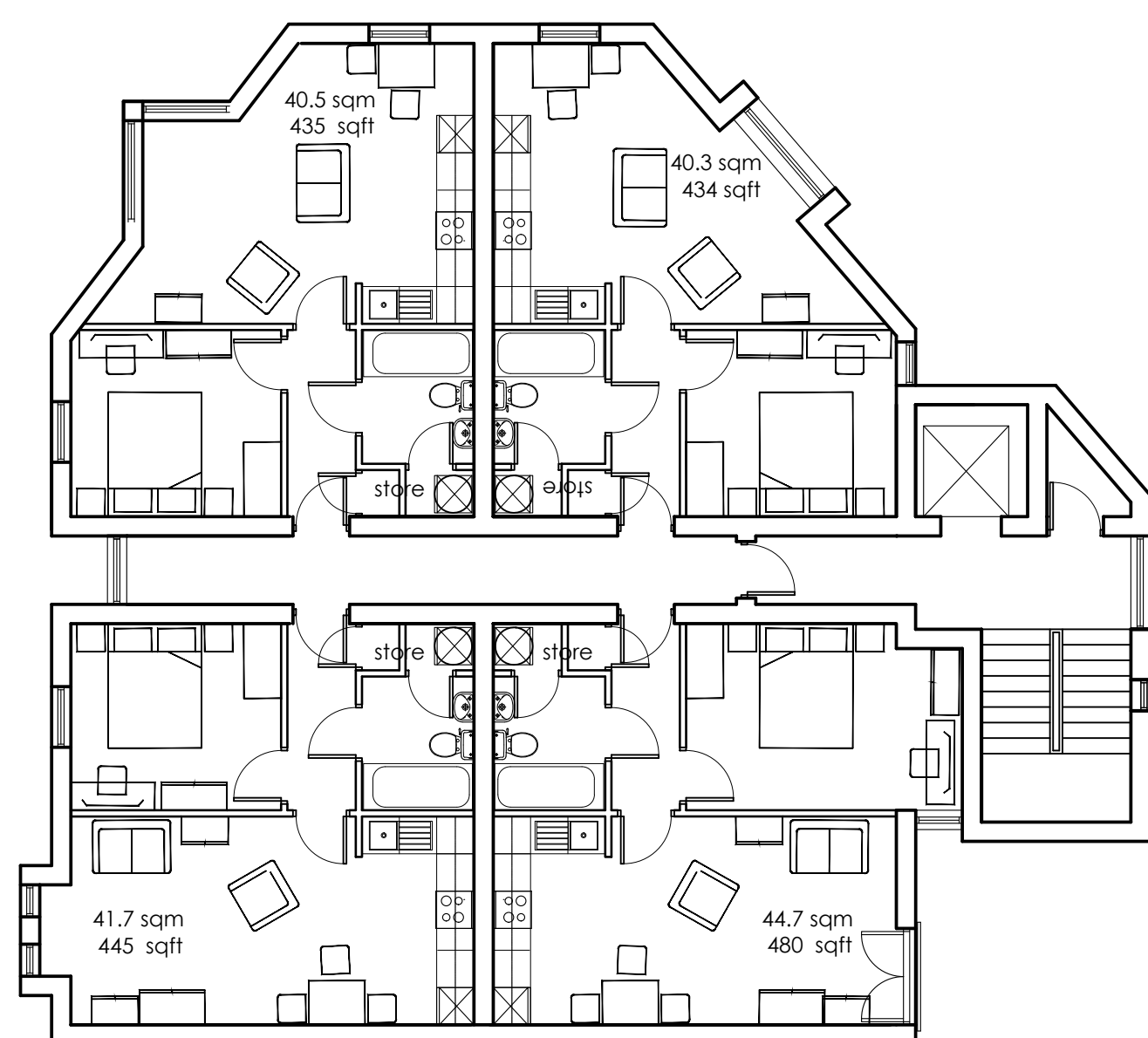
9.4 ***Wellbeing of Future Generations (Wales) Act 2015***

Section 3 of the Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the proposed decision.

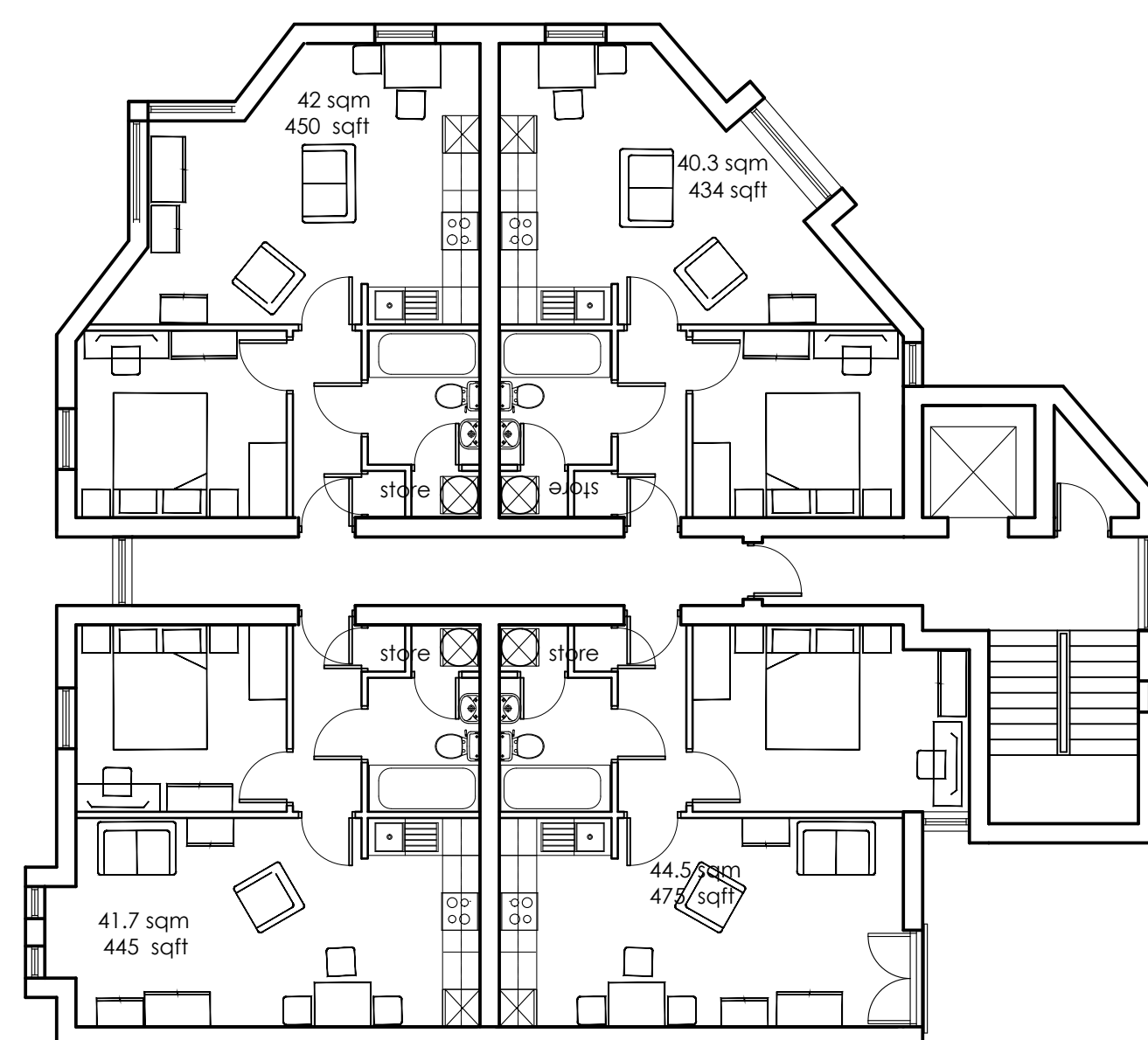


Proposed Conversion Citadel, Splott Road		Job No. 08_038	Rev. *
Title Location Plan		Dwg No. AL(90)02	
Date 24/10/16	Drawn	Scale 1:500 @ A3	
		Architects Environmental & Urban design	
2nd Floor, 14-18 City Road, Roath, Cardiff, CF24 3DL		www.cjarchitects.co.uk tel: 029 20452100	

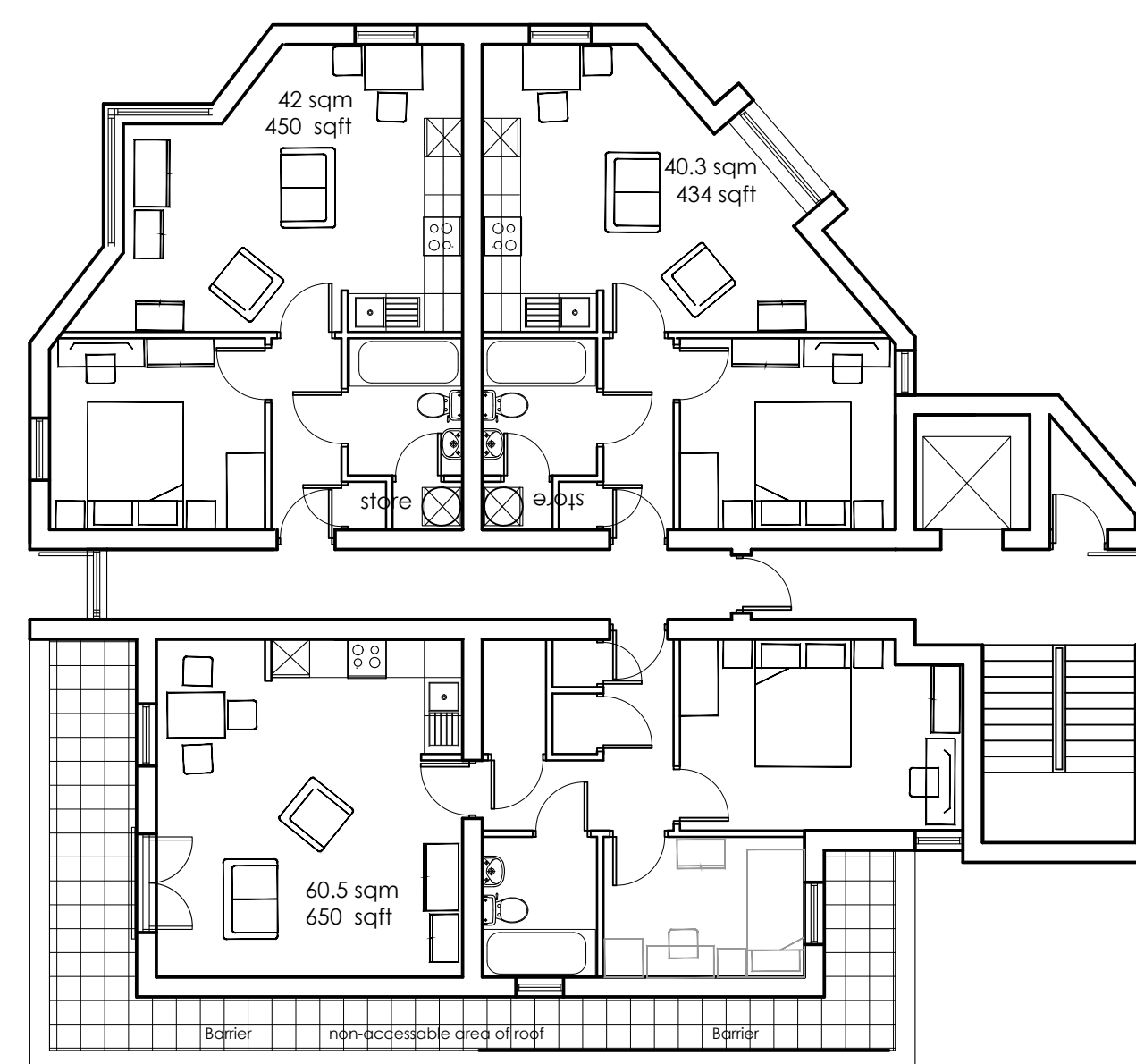
Date	Drawn	Check	Description	Rev.
24/10/16			Sheet title block amended	A
24/03/17			Car parking spaces added in lieu of lower residential development	B
03/02/17			Basement plan corrected to show windows as per elevations	C
27/04/17			Two basement floor units converted to one, stair placement adjusted, bay windows adjusted	D



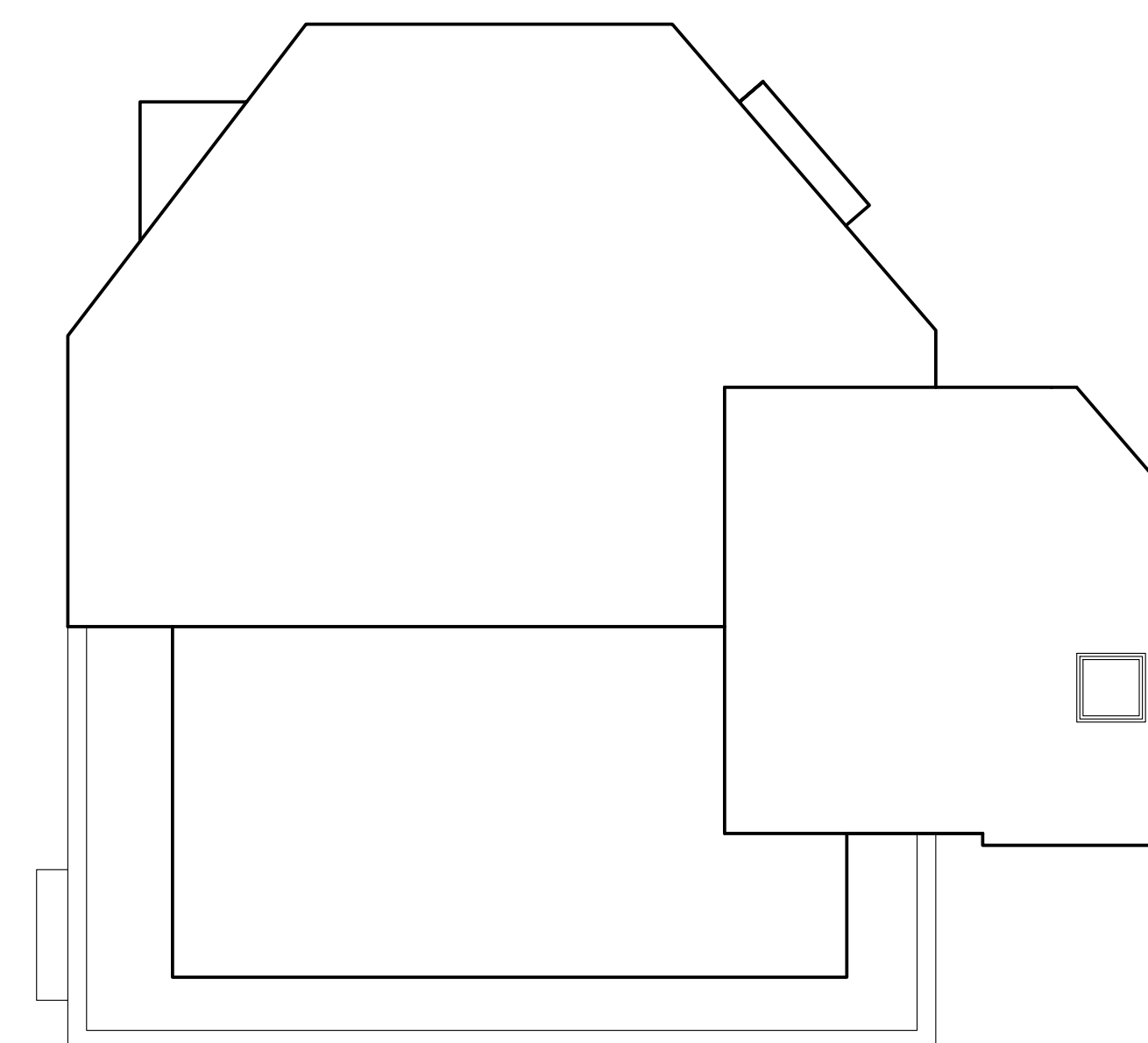
First Floor



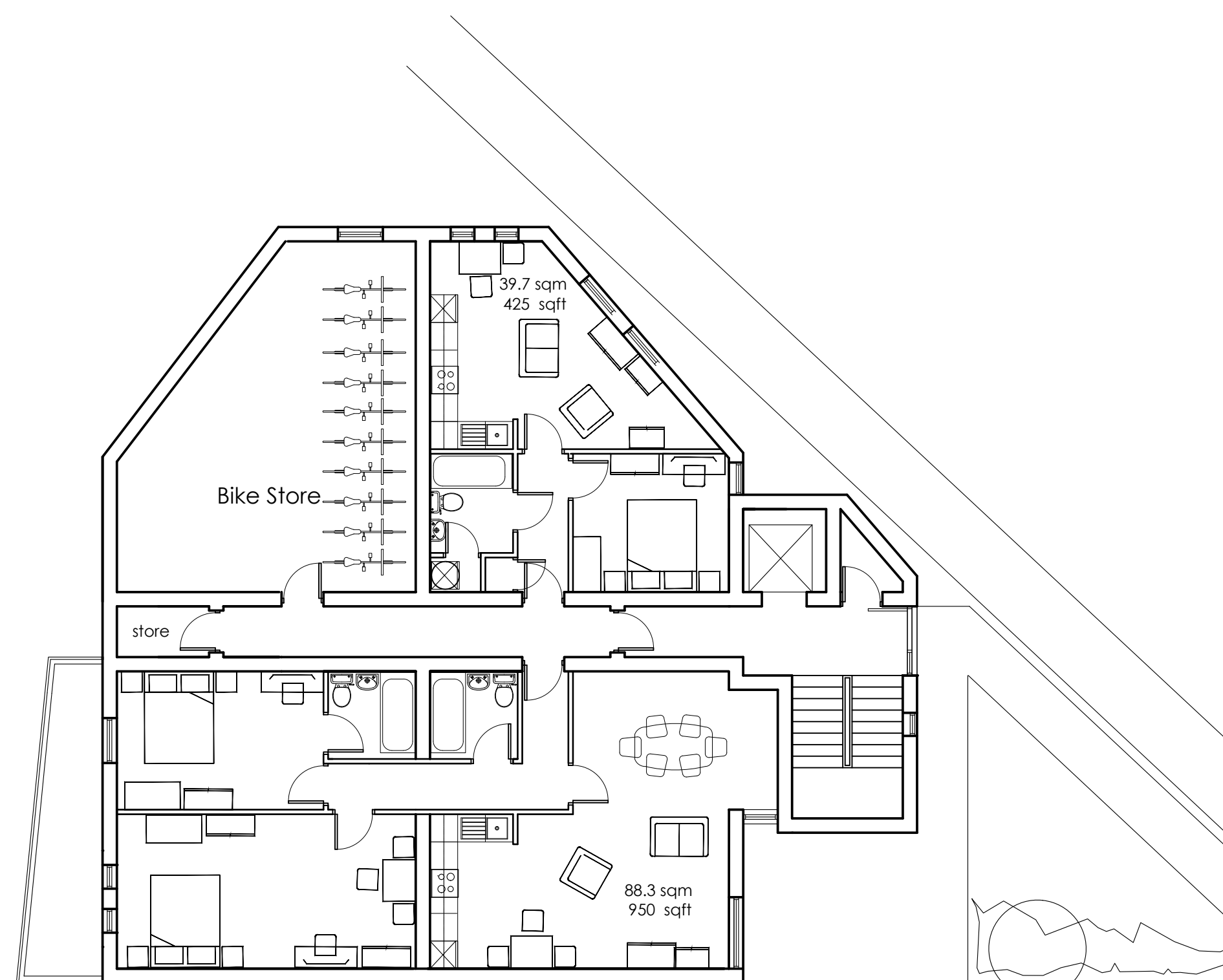
2nd Floor



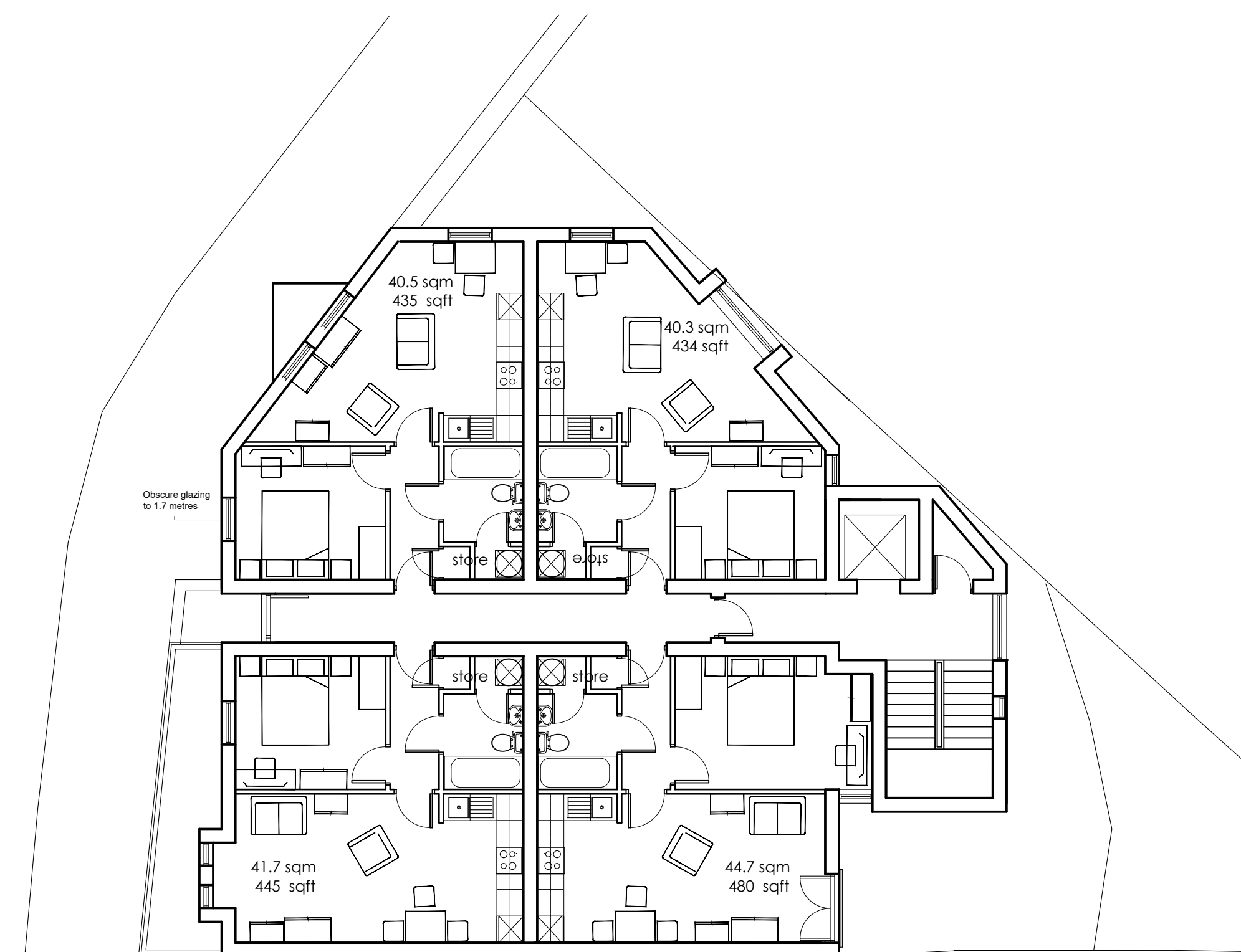
3rd Floor



Roof Plan




Basement Floor



Ground Floor

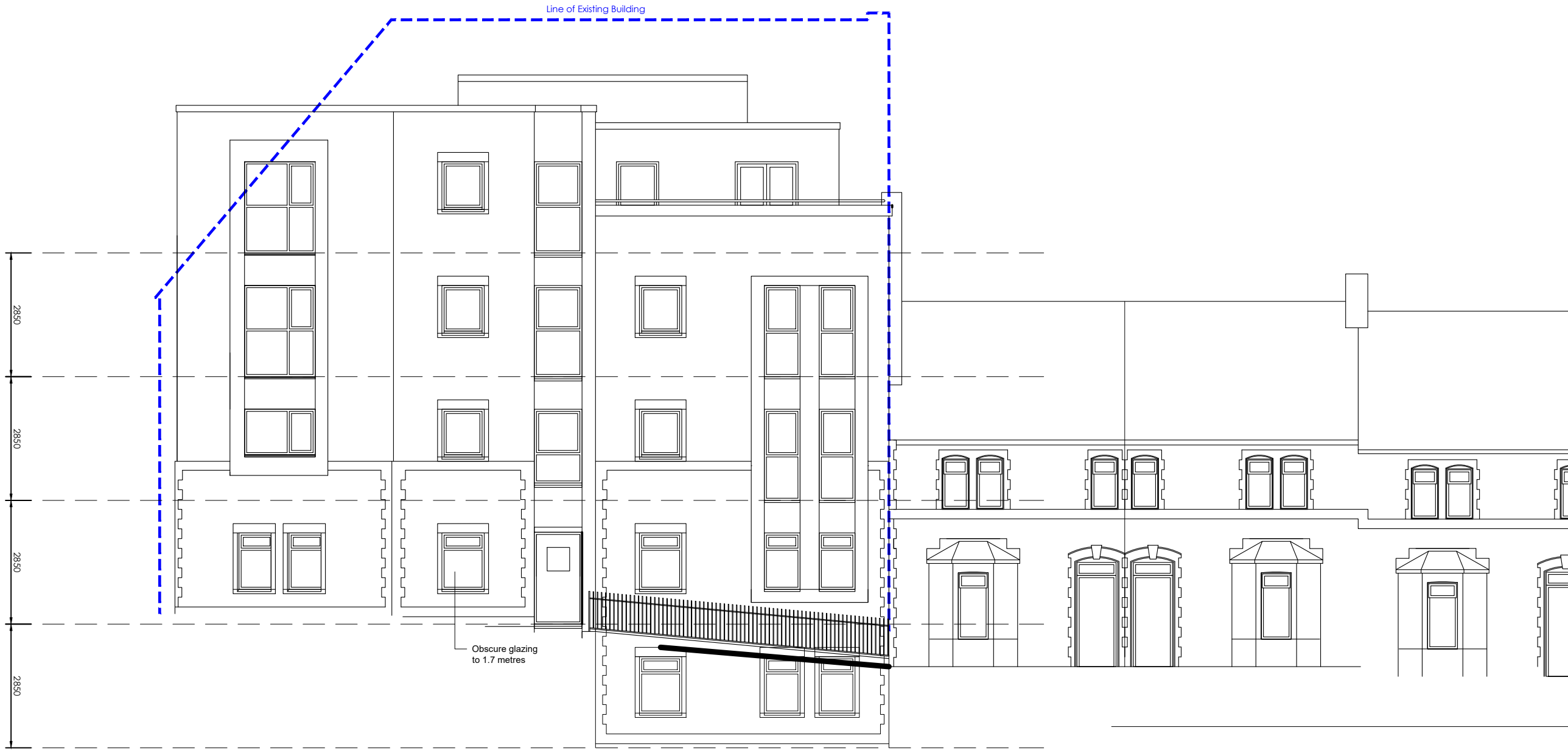


Site Plan 1:250

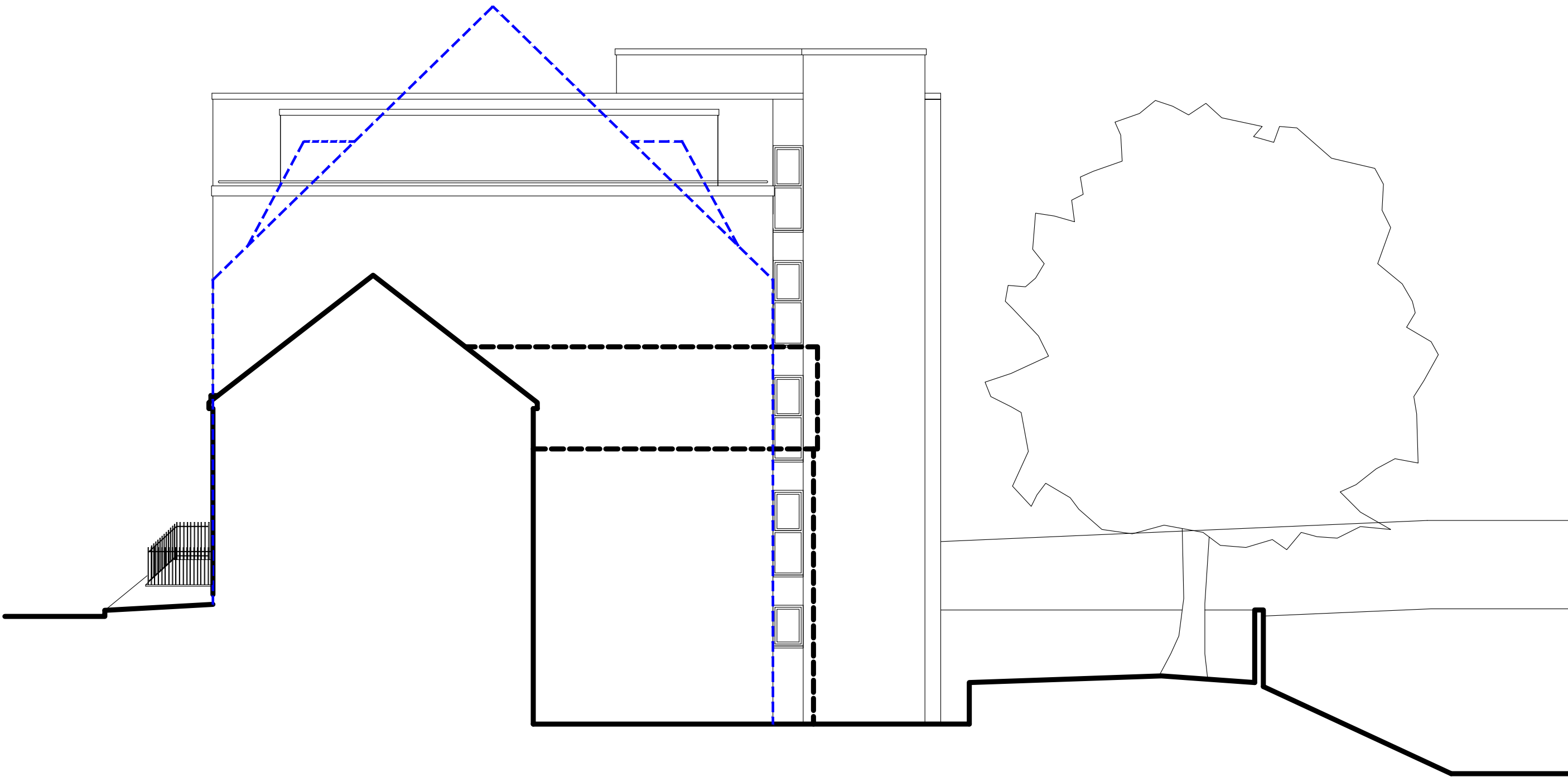
Residential Development Citadel, Spilth Road Bute Properties Ltd	Job No. 08_038 Dwg No. AL(01)01	Rev. D
Main Block Proposed Plans		
Date 04/10/10	Drawn 1:200/500 @ A3	Scale 1:100/250 @ A1
		
<small>2nd Floor: 16-18 City Road, Roth, Cambs. CB24 3JL www.d.pearsons.co.uk tel: 020 2562100</small>		



Splott Road Bridge Elevation (B) - Scale 1:100



Pearl Street Elevation (A) - Scale 1:100



Pearl Place Elevation (C) - Scale 1:100



Rear Elevation - From Railway (D) - Scale 1:100



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PETITION

COMMITTEE DATE: 21/06/2017

APPLICATION No. **17/00208/MNR** APPLICATION DATE: 14/02/2017

ED: **RHIWBINA**

APP: TYPE: Full Planning Permission

APPLICANT: Coray Developments
 LOCATION: NATIONAL WESTMINSTER BANK, 238 PANTBACH ROAD,
 RHIWBINA, CARDIFF, CF14 6AX
 PROPOSAL: PROPOSED EXTENSION & WORKS TO PROVIDE 1 NO
 RETAIL UNIT TO PROVIDE COFFEE SHOP. 1 NO RETAIL
 UNIT TO PROVIDE HAIRDRESSER. 3 NO 3 BEDROOMED
 APARTMENTS

RECOMMENDATION : That planning permission be **REFUSED** for the following reasons :

1. The proposed building, by virtue of its excessively large scale and massing, breach of the existing frontage building line, incongruous roof form and incongruous architectural detailing, would be out of keeping with the scale, pattern and appearance of development in the surrounding area, to the detriment of visual amenity, the character of the prevailing street scene and the setting of the adjacent Rhiwbina Garden Village Conservation Area, contrary to policies KP5, KP17 and EN9 of the Cardiff Local Development Plan and paragraphs 6.5.21 and 9.3.3 of Planning Policy Wales (November 2016).
2. The development would be detrimental to the amenities of residents of 1, Heol Y Bont and to users of the gardens to the rear of the Canolfan Beulah in that the building would appear obtrusive and overbearing when viewed from neighbouring properties, contrary to policy KP5 of the Cardiff Local Development Plan and paragraph 9.3.3 of Planning Policy Wales (November 2016).

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 This application seeks full planning permission for the extension and conversion of a vacant former bank to a coffee shop and hairdressing salon at ground floor level with two storeys of apartments above. There would be 2 x 3 bedroom apartments at first floor level and 1 x 3 bedroom apartment on the second floor.
- 1.2 The coffee shop would have an internal area of 220 square metres and would be open from 8am to 8pm Monday to Saturday, 9am to 5pm Sundays and bank

holidays, and would create 12 full time equivalent jobs. The hairdressing salon would have an internal area of 87 square metres and would be open from 9am to 6pm Monday to Saturday (9am to 8pm Thursdays) and would create 5 full time jobs.

- 1.3 The building would fill the whole site with only a gap of around 1m between the front elevation and the footway on Pantbach Road. The first floor element would be “squared off” alongside Heol Y Bont, creating angled balconies along this frontage for flats 1 and 2. The second floor apartment would be within the roof space. There would be large areas of glazing to the front and side (Heol y Bont) elevations. The walls would be white painted render, the roof would be slate and doors/windows would be grey aluminium.
- 1.4 Three parking spaces would be provided within garages beneath the balcony of flat 2, with access directly onto Heol Y Bont. Bins and cycles would also be stored in this area.

2. **DESCRIPTION OF SITE**

- 2.1 The existing building is a 10m wide x 8.5m long single storey building with a steeply pitched roof rising to 8m, with rooms in the roofspace. There is a small flat roofed single storey extension to the side and two rear extensions, one single storey flat roofed extension projecting around 9m to the rear and one partly flat roofed partly pitched roofed extension projecting around 5m. The main part of the building and two of the extensions are finished in white painted render with the longest rear extension being brick. The front elevation contains a central entrance door flanked by two windows with brick surrounds, with a fascia above.
- 2.2 There is a car park to the rear bounded by a brick wall. The side of the building is set back from Heol Y Bont by 3.5m – 6m and there is a small unenclosed forecourt fronting Pantbach Road. The ground slopes down towards the north and there is a low retaining wall along half of the frontage.
- 2.3 The building was formerly a bank but has been vacant for some time. Recently it has been occupied by a hairdressers’. To the north is the Canolfan Beulah (community church centre) and to the east, west and south are residential properties. The site is at the southern end of the Rhiwbina Village Local Centre.

3. **SITE HISTORY**

- 3.1 None.

4. **POLICY FRAMEWORK**

- 4.1 *Cardiff Local Development Plan 2006-2021:*
KP5 (Good Quality and Sustainable Design);
KP13 (Responding to Evidenced Social Needs);
H2 (Conversion to Residential Use);
EN7 (Priority Habitats and Species);

EN10 (Water Sensitive Design);
 EN13 (Air, Noise, Light Pollution and Land Contamination);
 T5 (Managing Transport Impacts);
 R1 (Retail Hierarchy);
 R5 (Local Centres);
 R8 (Food and Drink Uses);
 C3 (Community Safety/Creating Safe Environments);
 W2 (Provision for Waste Management Facilities in Development).

- 4.2 Following the adoption of the Cardiff Local Development Plan, many existing Supplementary Planning Guidance documents are no longer linked to adopted development plan policies. However, where existing SPG is considered consistent with the new LDP policy framework, it will continue to be material to the Development Management process. The following Supplementary Planning Guidance is considered relevant to the determination of this application as it is either adopted or considered consistent with LDP policies KP5, T5, R8 and W2 and can be used to help inform the assessment of relevant matters -

Waste Collection and Storage Facilities (October 2016);
 Planning Obligations (January 2017);
 Infill Sites (April 2011);
 Access, Circulation and Parking Standards (January 2010);
 Restaurants, Takeaways and Other Food and Drink Uses (June 1996);
 Shopfronts and Signage (October 2011);
 Cardiff Residential Design Guide (January 2017).

- 4.3 *Planning Policy Wales (November 2016):*

4.4.3: In contributing to the Well-being of Future Generations Act goals, planning policies, decisions and proposals should (inter alia):

- Promote resource-efficient and climate change resilient settlement patterns that minimise land-take and urban sprawl, especially through preference for the re-use of suitable previously developed land and buildings;
- Play an appropriate role to facilitate sustainable building standards;
- Support initiative and innovation and avoid placing unnecessary burdens on enterprises so as to enhance the economic success of both urban and rural areas, helping businesses to maximise their competitiveness;
- Promote access to employment, shopping, education, health, community, leisure and sports facilities and open and green space, maximising opportunities for community development and social welfare;
- Promote quality, lasting, environmentally-sound and flexible employment opportunities;
- Respect and encourage diversity in the local economy;
- Locate developments so as to minimise the demand for travel, especially by private car;
- Ensure that all local communities have sufficient good quality housing for their needs, including affordable housing for local needs and for special needs where appropriate, in safe neighbourhoods.

4.11.8 Good design is essential to ensure that areas, particularly those where higher density development takes place, offer high environmental quality, including open and green spaces.

4.11.9 The visual appearance of proposed development, its scale and its relationship to its surroundings and context are material planning considerations. Local planning authorities should reject poor building and contextual designs. However, they should not attempt to impose a particular architectural taste or style arbitrarily and should avoid inhibiting opportunities for innovative design solutions.

4.11.11: Local planning authorities and developers should consider the issue of accessibility for all.

4.11.12: Local Authorities are under a legal obligation to consider the need to prevent and reduce crime and disorder in all decisions that they take.

4.12.2: Development proposals should mitigate the causes of climate change by minimising carbon and other greenhouse gas emissions associated with their design, construction, use and eventual demolition.

6.5.21 There will be a strong presumption against the granting of planning permission for developments, including advertisements, which damage the character or appearance of a conservation area or its setting to an unacceptable level. In exceptional cases, the presumption may be overridden in favour of development considered desirable on the grounds of some other public interest. Preservation or enhancement of a conservation area can be achieved by a development which either makes a positive contribution to an area's character or appearance or leaves them unharmed. Mitigation measures can also be considered which could result in an overall neutral or positive impact of a proposed development in a conservation area.

7.1.3 The planning system should support economic and employment growth alongside social and environmental considerations within the context of sustainable development.

7.2.4 Mixed use development should be promoted in and adjoin existing settlements, where appropriate.

8.1.5 Land use planning can help to achieve the Welsh Government's objectives for transport through (inter alia) reducing the need to travel, especially by private car, by locating development where there is good access by public transport, walking and cycling; locating development near other related uses.

8.4.2: Local Authorities should ensure that new developments provide lower levels of parking than have generally been achieved in the past. Minimum parking standards are no longer appropriate.

9.1.1 The Welsh Government will seek to ensure that: previously developed land is used in preference to greenfield sites; new housing and residential environments are well designed, meeting national standards for the sustainability of new homes and making a significant contribution to promoting community regeneration and improving the quality of life; and that the overall result of new housing development in villages, towns or edge of settlement is a mix of affordable and market housing that retains and, where practical, enhances important landscape and wildlife features in the development.

9.1.2 Local planning authorities should promote sustainable residential environments, avoid large housing areas of monotonous character and make appropriate provision for affordable housing. Local planning authorities should

promote: mixed tenure communities; development that is easily accessible by public transport, cycling and walking; mixed use development so communities have good access to employment, retail and other services; attractive landscapes around dwellings, with usable open space and regard for biodiversity, nature conservation and flood risk; greater emphasis on quality, good design and the creation of places to live that are safe and attractive; the most efficient use of land; well-designed living environments, where appropriate at increased densities; construction of housing with low environmental impact, reducing the carbon emissions generated by maximising energy efficiency and minimising the use of energy from fossil fuel sources, using local renewable and low carbon energy sources where appropriate; and 'barrier free' housing developments, for example built to Lifetime Homes standards.

9.2.12 Higher densities should be encouraged on easily accessible sites, where appropriate, but these will need to be carefully designed to ensure a high quality environment. In particular, local planning authorities should adopt a flexible approach to car parking standards.

9.3.3 Insensitive infilling, or the cumulative effects of development or redevelopment, including conversion and adaptation, should not be allowed to damage an area's character or amenity. This includes any such impact on neighbouring dwellings, such as serious loss of privacy or overshadowing.

10.1.2 The Welsh Government's objectives for retail and commercial centres are to: Promote viable urban and rural retail and commercial centres as the most sustainable locations to live, work, shop, socialise and conduct business; Sustain and enhance retail and commercial centres' vibrancy, viability and attractiveness; and Improve access to, and within, retail and commercial centres by all modes of transport, especially walking, cycling and public transport.

10.2.6 Access for delivery vehicles should be provided to assist the efficient functioning of retail and commercial centres. Access by car and short-term parking can also help centres to compete with existing out of centre locations, but they should be managed to minimise congestion, pollution and parking problems which would otherwise reduce the convenience, attractiveness or competitiveness of these centres.

10.2.7 Appropriate land uses and design of development and spaces can contribute to security through natural surveillance, for example mixed use schemes including residential can provide longer periods of activity and usage over the course of a day resulting in the creation of safer places.

10.3.3 Retail opportunities should continue to underpin retail and commercial centres. However, vibrant and viable centres are distinguished by a diversity of activity and use which should contribute towards a centre's well-being and success, whilst also reducing the need to travel. Mixed use developments, combining retailing with entertainment, restaurants and, where appropriate, residential should be encouraged so as to promote lively centres during both the day and the evening.

12.7.3: Adequate facilities and space for the collection, composting and recycling of waste materials should be incorporated into the design of any development.

2016).

4.5 *Technical Advice Note 12 - Design (March 2016).*

4.6 *Technical Advice Note 23 – Economic Development (Feb 2014).*

5. **INTERNAL CONSULTEE RESPONSES**

5.1 *Transportation:* No objections. Note that objections have been received because of the current parking situation; however, there will be off-street parking.

5.2 *Pollution Control (Noise & Air):* Standard conditions and informative notes requested relating to plant noise, kitchen extraction and construction site noise.

5.3 *Waste Strategy & Minimisation Officer:* A change of use from A1 to A3 may lead to an increase in the volume of waste produced. We have noted the proposed bin storage areas on the plan and these are acceptable. In a mixed development, a strict separation of waste is required to ensure commercial waste does not enter the domestic waste stream.

5.4 All A3 units are required to provide litter bins at the front of the unit in order to prevent littering on the adopted highway. The tenant will be required to provide, service and empty a litter bin to be placed at front of the unit during opening hours and removed from the highway during closing hours.

5.5 Each apartment will require the following for recycling and waste collections: 1 x 140 litre bin for general waste; 1 x 25 litre kerbside caddy for food waste; Green bags for mixed recycling (equivalent to 140 litres), the storage of which must be sensitively integrated into the design. The kitchen should be designed to allow the separation of waste into three waste streams. Since 27th July 2015, the developers of all new residential units are required to purchase the bin provision required for each unit.

6. **EXTERNAL CONSULTEE RESPONSES**

None.

7. **REPRESENTATIONS**

7.1 The application has been advertised by neighbour notification. 36 representations and two petitions, one of 214 signatures and one of 114, have been received in objection to the application.

7.2 The grounds for objection are summarised as follows:

1. The development will add to existing traffic congestion due to blocking of road by parked cars and increased need for bin collections;
2. The development does not include an adequate amount of off-street parking and no facilities for disabled parking or for the parking of delivery vehicles are proposed. There is already a problem with lack of parking in

- the area. The garages will reduce available on-street parking;
3. There will be an adverse impact on highway and pedestrian safety. The adjacent junction is hazardous, cars emerging from the garages will cause danger to pedestrians, indiscriminate parking will cause hazards, scaffolding will cause a danger to pedestrians during construction, glare from the large amount of glazing will cause highway safety issues;
 4. The building is out of keeping with its surroundings - it will be too large and over-dominant;
 5. There will be a negative impact on the character and appearance of the adjacent Rhiwbina Garden Village Conservation Area and nearby Listed Buildings;
 6. The building will be overbearing when viewed from neighbouring properties;
 7. Neighbours will suffer loss of privacy;
 8. The building will overshadow adjoining buildings and gardens;
 9. Water goods may overhang adjoining land. The owner will not permit this and will not allow scaffolding to be erected on their land;
 10. There will be an increase in noise disturbance to nearby residential properties caused by the proposed uses and by the storage of bins close to the neighbouring house. The premises would also be open on Sundays, which is not normal for this area;
 11. There may be fumes and odours from the coffee shop;
 12. There may be a negative impact on an adjacent tree;
 13. No useable outdoor amenity space is to be provided for residents. The balconies would be inappropriate as they are adjacent to a main road;
 14. Bats may be present in the existing building and these would be disturbed by the development;
 15. There is no need for another coffee shop or hairdressing salon in Rhiwbina. The development would harm the vitality and viability of the existing centre;
 16. The development would be contrary to the Wellbeing of Future Generations Act as it would make the community less safe and attractive;
 17. The Design and Access Statement submitted with the application is deliberately inaccurate and is intended to mislead. There are a number of inaccuracies in the application.
- 7.3 The petition of 214 signatures states that the development will be out of keeping, traffic will increase, inadequate parking facilities are proposed, the building will be too tall, there will be a negative impact on the garden Village, there is nowhere for vehicles to turn and the building will breach the building line.
- 7.4 The petition of 114 signatures states that there will be a negative impact on an existing business.

8. **ANALYSIS**

- 8.1 The main consideration with regard to this proposal is the impact on visual amenity and the character of the area. The proposed building would be highly prominent within the street scene, being located on a corner site forming the southernmost plot within the Rhiwbina Village Local Centre, opposite the Rhiwbina Garden Village Conservation Area and in an elevated position leading up to the railway overbridge.
- 8.2 The proposal is considered to be contrary to the guidance within the Infill Sites SPG, which at paragraph 2.14 states that proposals must maintain an established spacing between buildings that respects the pattern of layout in the vicinity of the site, maintain appropriate scale and massing which respects buildings in the vicinity of the site, respect the frontage building line and respond to the existing street scene. The proposal fails to respond to this guidance as, in contrast with the existing former bank building and the prevailing local urban grain, the proposed building would occupy the entire plot. The form of the very large and shallow pitched roof would exacerbate the incompatible scale of the building. The significant scale, massing and footprint of the proposed building would result in overdevelopment of the site contrary to the guidance contained in the Infill Sites SPG.
- 8.3 In addition to concerns over scale, the architectural detailing of the building would be considered harmful to the character and appearance of the street scene and to the setting of the adjacent conservation area, with highly prominent and extensive areas of incongruous glazing, recesses and first floor balconies wrapping the Pantbach Road and Heol-y-Bont elevations, these being defined by glazed balustrading that is unsympathetic to the area's village centre / residential character. As such, the proposal is considered to be contrary to Policy KP5 of the Local Development Plan.
- 8.4 With regard to the objections received:
1. Highways/Transportation officers have raised no concerns regarding parking, blocking of roads or traffic congestion. The development would not be on such a large scale that significant numbers of vehicles would be attracted to the site, the residential units would have their own off-street parking spaces and the site is within the existing Local Centre, allowing for combined trips to be made;
 2. Highways/Transportation officers have raised no concerns regarding parking. The proposed parking facilities are in accordance with the Supplementary Planning Guidance "Access, Circulation and Parking Standards".
 3. Highways/Transportation officers have raised no concerns regarding highway safety. Illegal and dangerous parking and issues such as the location of scaffolding on the public highway are dealt with under other legislation.
 4. The proposed building is considered to be too large and over-dominant and this forms one of the suggested reasons for refusal of the application;
 5. It is considered that the proposal would be detrimental to the setting of

the Conservation Area, and this forms another of the suggested reasons for refusal of the application;

6. The scale and massing of the building and its proximity to neighbouring residential properties, particularly 1 Heol Y Bont, would make it appear overbearing and this forms one of the suggested reasons for refusal;
7. The balconies overlooking Heol Y Bont would face towards the side elevation of 236 Pantbach Road, which is a commercial property with no domestic windows that could be affected by loss of privacy. There would be no windows in the elevation facing towards 1 Heol Y Bont and the side of the balcony from which that property could be viewed could be screened to prevent overlooking. Windows in the north elevation would face towards a community hall and garden, not a domestic property. Loss of privacy would not therefore constitute adequate grounds for refusal of the application.
8. The building would overshadow part of the community hall garden and there would be some additional shading of the front and western side of 1 Heol Y Bont but this would not in itself constitute adequate grounds for refusal of the application.
9. Approval of the application would not confer any rights to develop on, under or over neighbouring land without the owner's consent;
10. Pollution Control officers have not objected to the proposal on noise grounds. Conditions could be used to limit opening hours and control the types of use permitted on the site so as to avoid noise disturbance. A condition could be used to ensure that the bins were stored in an enclosed structure. Also, the plans show that the bins would be stored adjacent to an area which is already used for refuse storage for commercial properties on Beulah Road therefore the impact on the neighbouring property would not be significant. Regarding opening on Sundays, the site is within the Local Centre and it would be unreasonable to prevent Sunday opening, whether or not other businesses in the area are open on that day.
11. Pollution Control officers have no concerns regarding fumes/odours provided a condition is imposed to ensure that suitable equipment is installed.
12. There are no protected trees on or in the vicinity of the site but there are trees in the adjoining garden that may overhang the site and be affected by the development. Should permission be granted, a condition could be imposed requiring mitigation (such as appropriate pruning). However, it should be noted that unprotected trees which overhang neighbouring property can be cut back to the boundary without the need for the permission of the Council.
13. It is not unusual for flats above commercial properties within District and Local Centres with little or no outdoor amenity space to be granted planning permission as it is accepted that permitted development regulations allow space above shops to be converted to residential use (a single flat) without the need for planning permission and also such units are less likely to be occupied by families. Two of the flats would have balconies of a size that would comply with the Cardiff Residential Design Guide, i.e. they would be in excess of 5 square metres. The balconies would be adjacent to Heol Y Bont rather than the main road.

14. This building is not typical of sites that are suitable for bats, being a relatively simple building in a sub-urban area; however, there are a number of features which increase the likelihood of bat use, therefore, if this application were to be approved, the applicant should be requested to carry out a preliminary assessment of bat roost potential in order to determine whether any mitigation measures or further assessments were needed prior to the commencement of development.
15. The site is within the Local Centre and there is no requirement for the applicant to prove a need for the proposed development as hairdressing salons are acceptable uses within Local Centres under policy R5 of the LDP, and coffee shops are acceptable provided they do not harm the vitality and viability of the Local Centre. As this coffee shop would not replace any existing shopping use or result in a row of non-shopping frontages, it would be unreasonable to conclude that it would harm the shopping role of the Local Centre. Competition with other food and drink uses in the area is not a material planning consideration and cannot form grounds for refusal of this application.
16. The Well-Being of Future Generations Act does not specifically state that developments should be refused planning permission if they make communities less “safe and attractive” but places a duty on public bodies when carrying out their functions to take into account the objectives they have set to achieve the goals of the Act – one of which is “Attractive, viable, safe and well-connected communities”. (Cardiff has produced a draft well-being assessment and will produce a local well-being plan by May 2018). However, the goals of the Act are already taken into consideration when planning applications are determined as any statutory body carrying out a planning function already has a duty to exercise those functions in accordance with the principles of sustainable development. In this case, community safety and the impact of the development on visual amenity have been taken into consideration in the determination of this application as they are aspects of development covered by policies of the Local Development Plan. It is not considered that the development would make the community less safe, but it would arguably make it less “attractive” in terms of its adverse impact on the street scene.
17. No design and access statement is required for an application of this nature therefore any inaccuracies in that document are irrelevant to the consideration of this application. Design and Access statements do not form part of a planning application but are required in some cases as supporting documents to aid understanding of design and access issues.

8.5 In conclusion, it is considered that the proposed development would be out of keeping with the character and appearance of its surroundings, that it would be of an unacceptably large scale and that it would have an adverse impact on the amenities of neighbouring residents and users of the adjoining community hall. It is recommended that planning permission be refused.

9. **OTHER CONSIDERATIONS**

9.1 *Crime and Disorder Act 1998*

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 *Equality Act 2010*

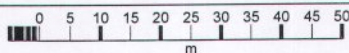
The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic, over and above any other person.

9.3 *Environment (Wales) Act 2016*

The Environment (Wales) Act 2016 imposes a duty on the Local Authority to seek to maintain and enhance biodiversity in the proper exercise of its functions. and in doing so to promote the resilience of ecosystems. It is considered that the proposed development does not have any significant implications for, or effect on, biodiversity.

9.4 *Well-being of Future Generations (Wales) Act 2015*

The Well-being of Future Generations (Wales) Act 2015 places a duty on public bodies to produce well-being objectives and take reasonable steps to meet those objectives in the context of the principle of sustainable development. The duty to improve the economic, social, environmental and cultural well-being of Wales, in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015 (the WBFG Act), has been considered and account has been taken of the ways of working set out at section 5 of the WBFG Act in the determination of this application, and it is considered that this decision is in accordance with the sustainable development principle through its contribution towards one or more of the well-being objectives referred to in section 9 of the WBFG Act.



238 PANT BACH ROAD
CF14 6AX

OS MasterMap 1250/2500/10000 scale
21 November 2016, ID: BW1-00577931
www.blackwellmapping.co.uk

1:1250 scale print at A4, Centre: 316054 E, 181012 N

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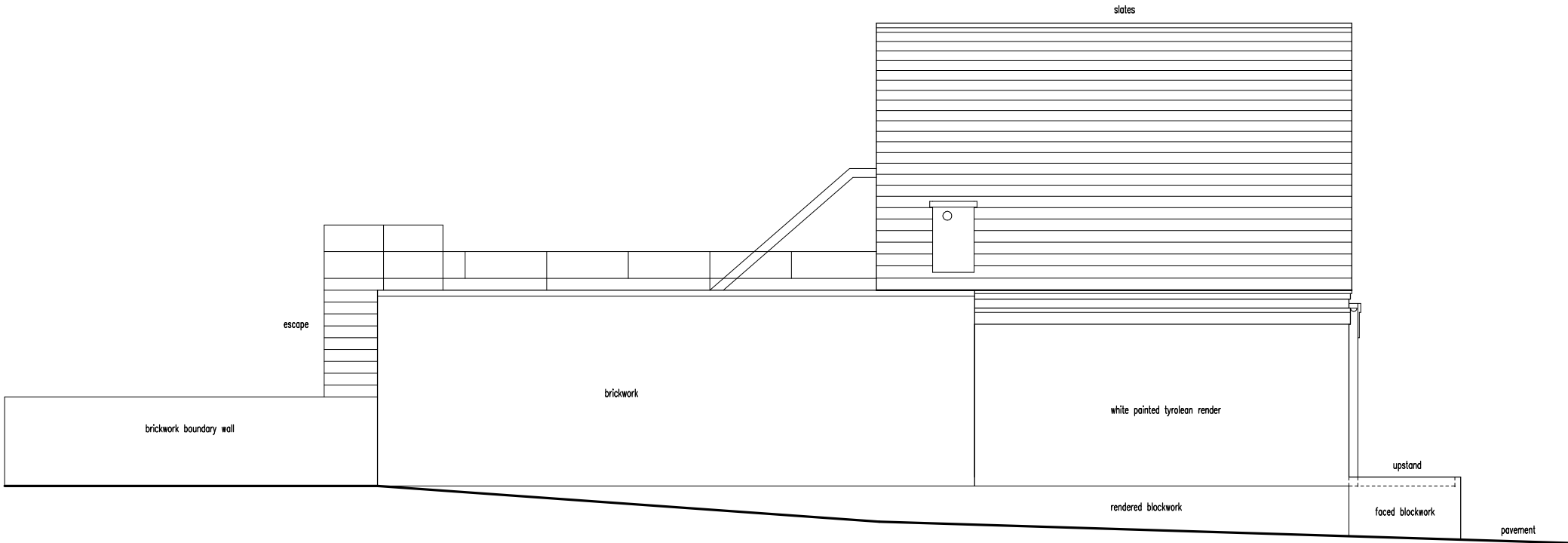








1:100

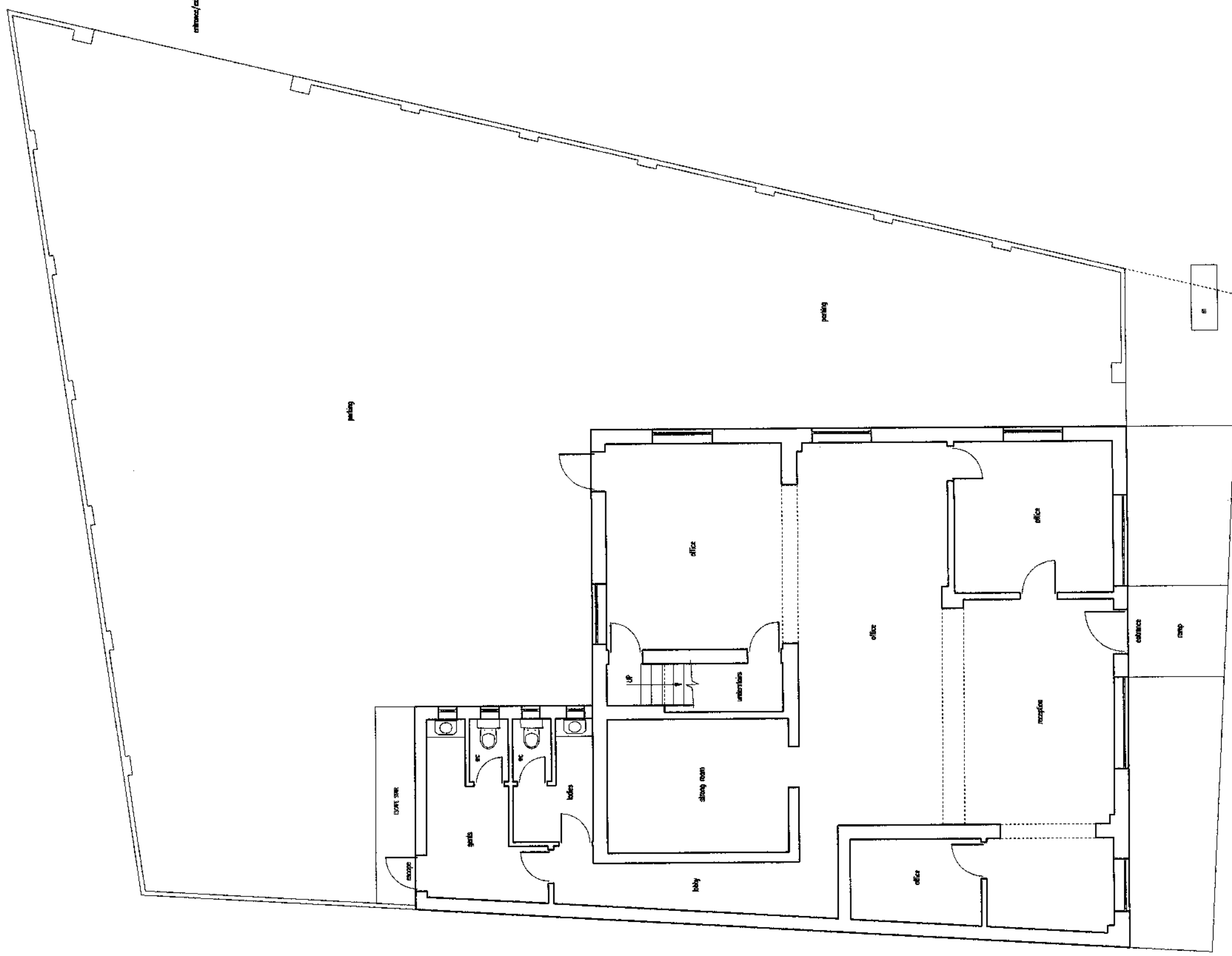


existing side elevation (left)



existing rear elevation

PP/100/1A



existing ground floor key plan

PP/100

1:100

Phil Hughes

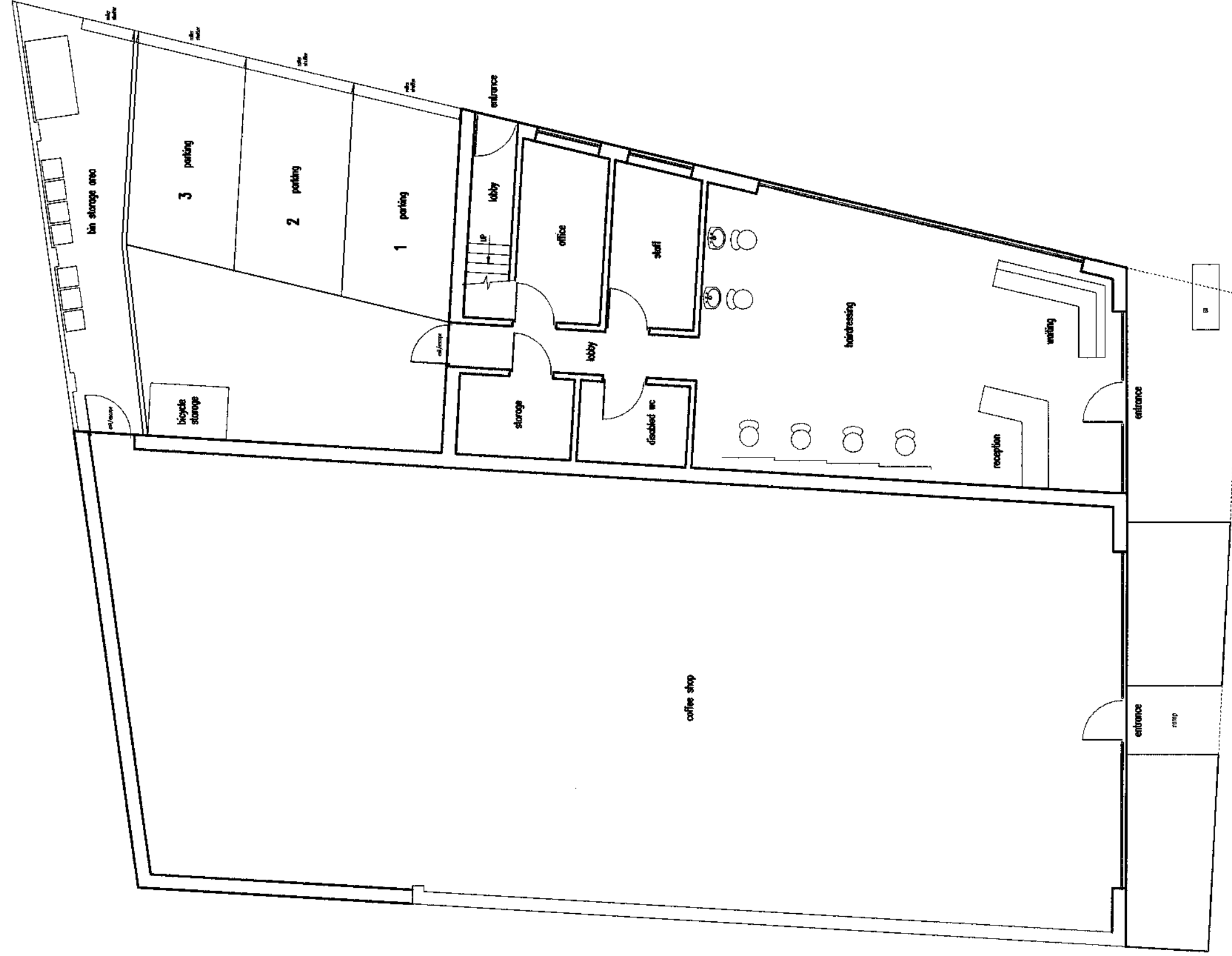
PROFESSIONAL DRAWINGS

Proposed Retail Units & Apartments.

20 RHWLAS
THORNHILL
CARDIFF
CF14 9AD

TEL 07977563890
(029) 20521362

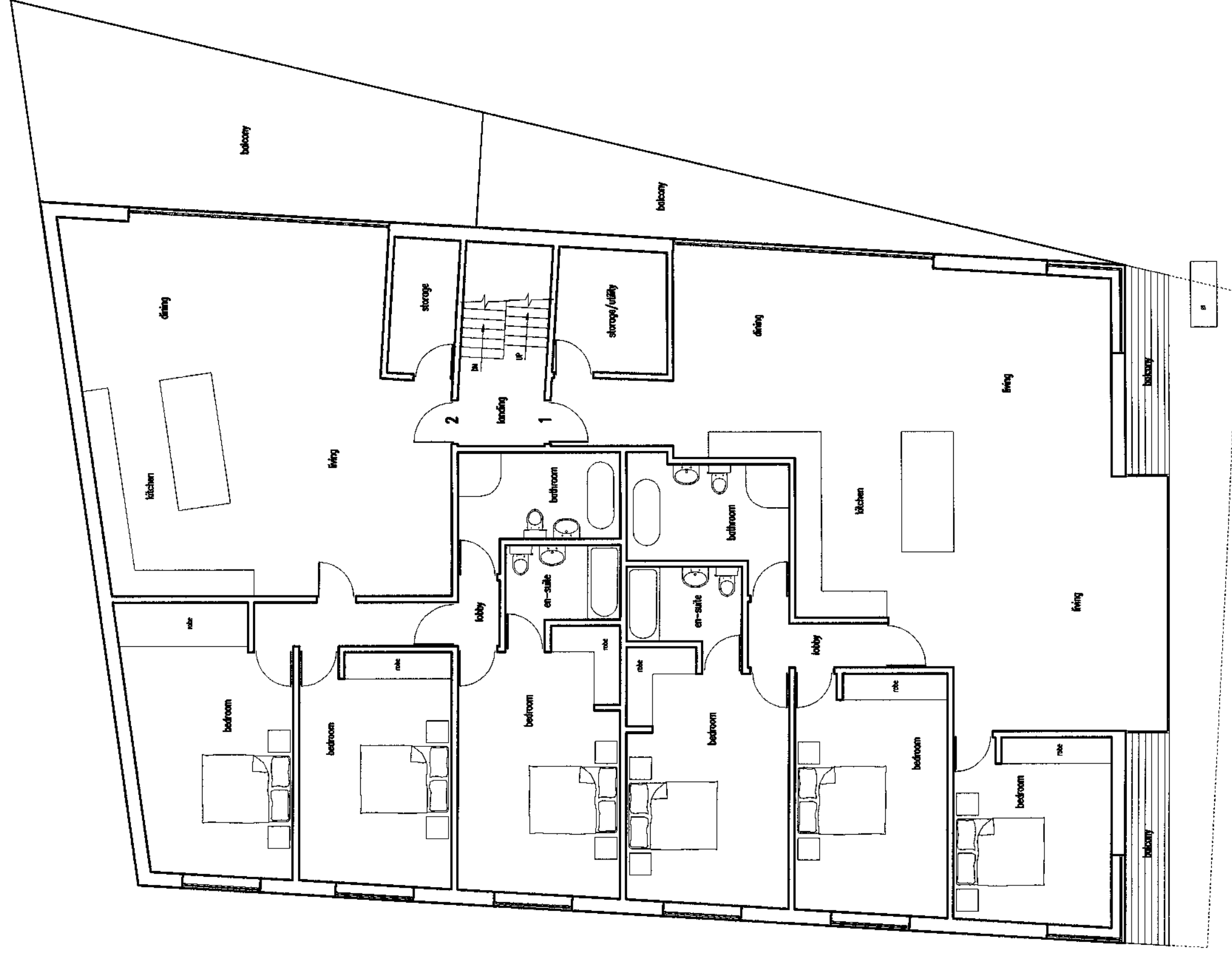
Former National Westminster Bank. 238 Pantbach Road, Rhiwbina, Cardiff. CF14 6AX.



proposed ground floor key plan

PP/300

1:100



proposed first floor key plan

PP/400

1:100

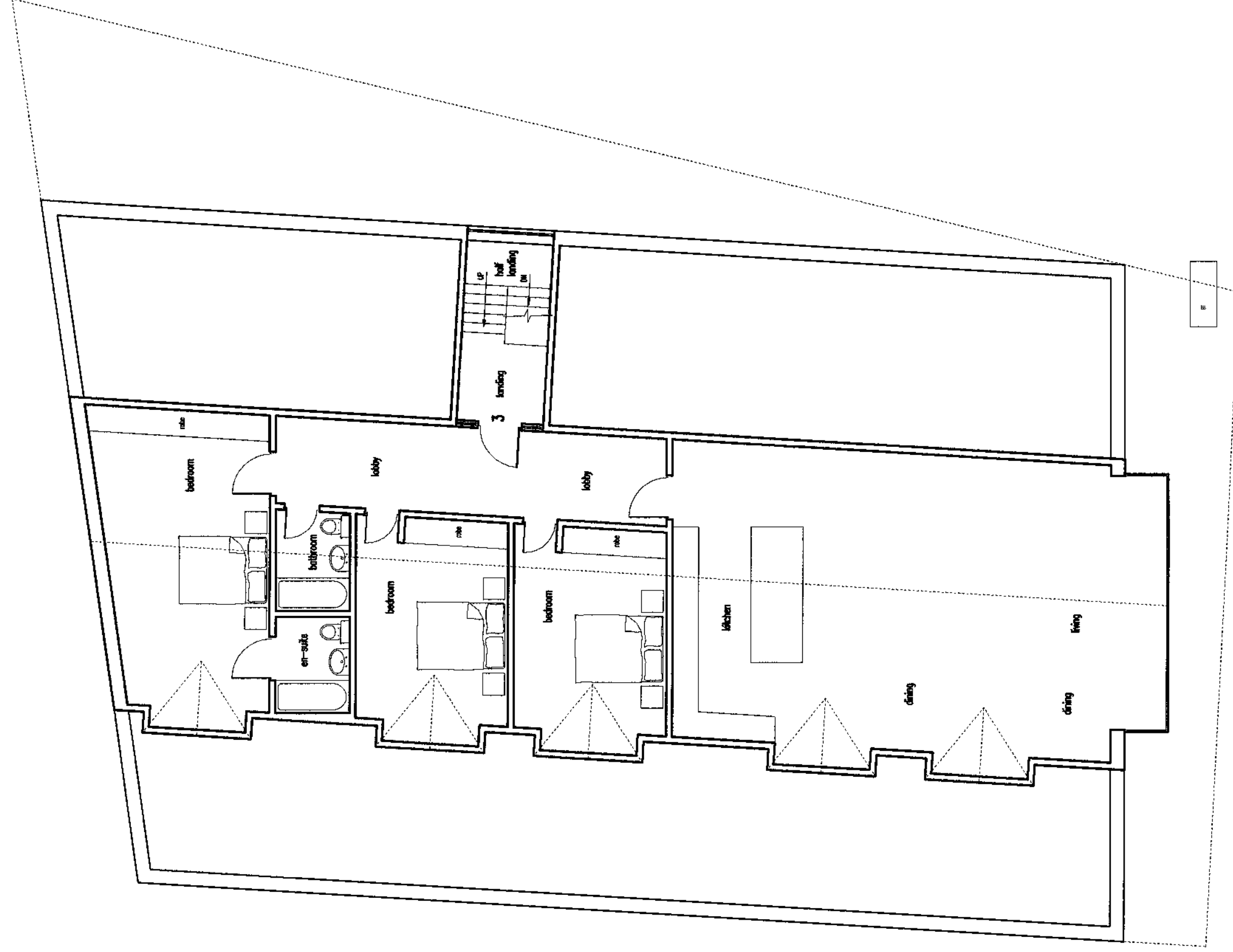
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Proposed Retail Units & Apartments.

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CF14 9AD

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proposed second floor key plan

PP/500

1:100

Phil Hughes
PROFESSIONAL DRAWINGS

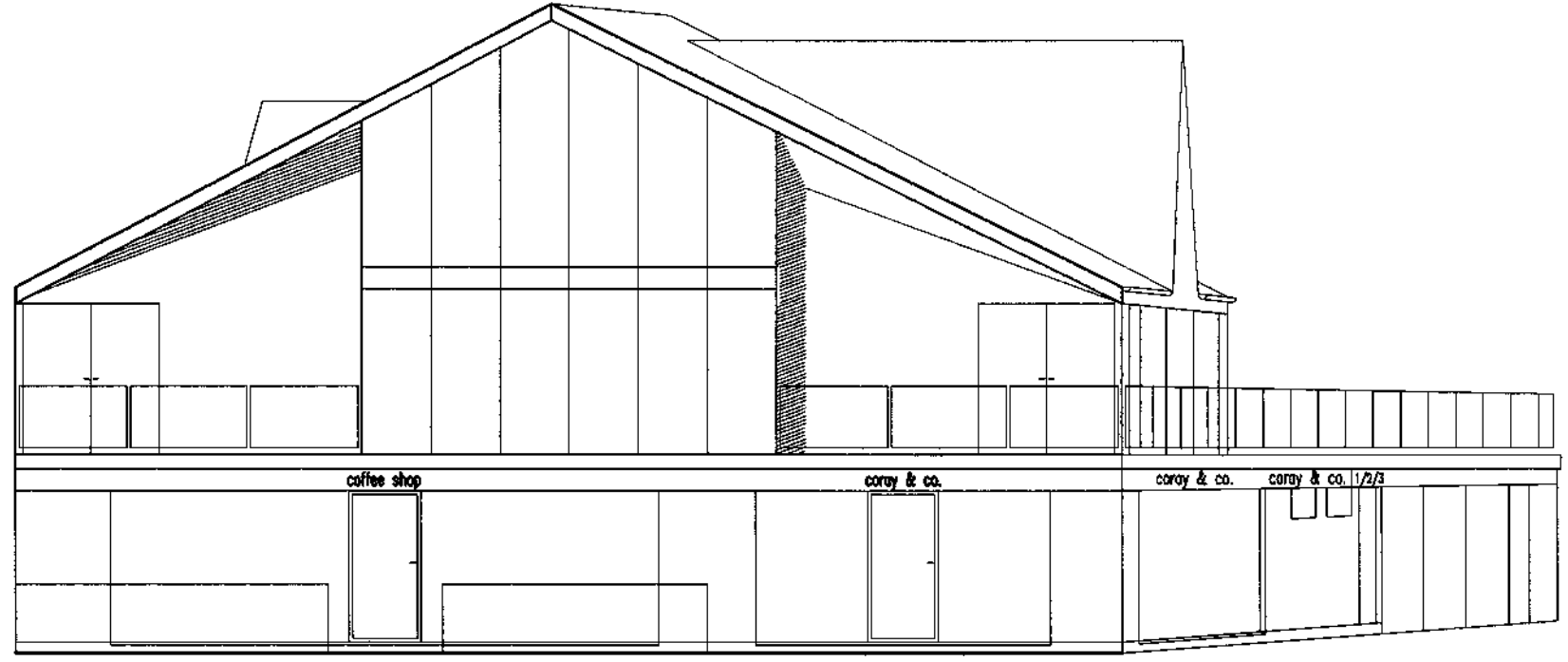
Proposed Retail Units & Apartments.

20 RHIWLAS
THORNHILL
CARDIFF
CF14 9AD

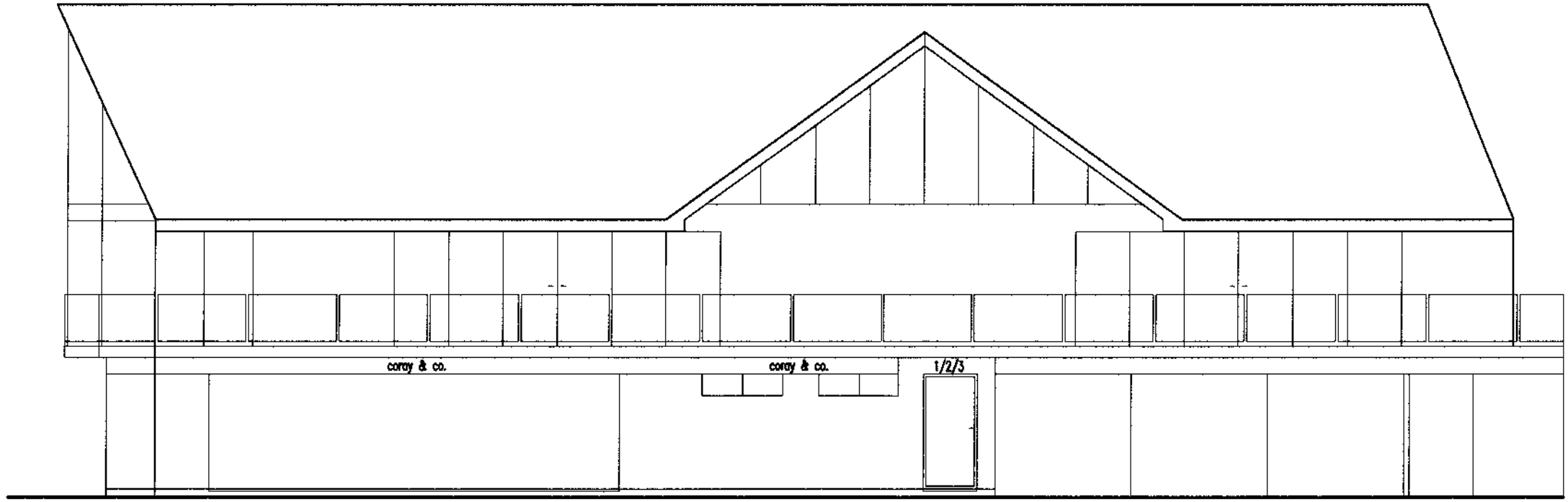
TEL 07977563890
(029) 20521362

Former National Westminster Bank. 238 Pantbach Road, Rhiwbina, Cardiff. CF14 6AX.

1:100



proposed front elevation



proposed side elevation (right)

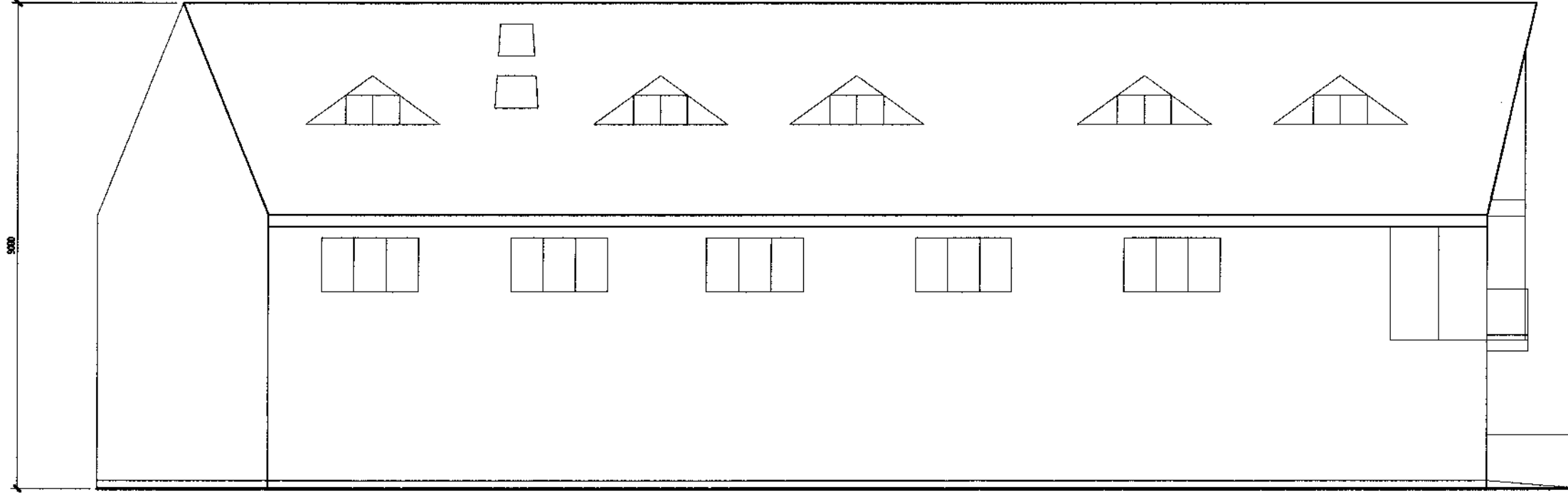
PP/600

20 RHIWLAS
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TEL 07977563890
(029) 20521362

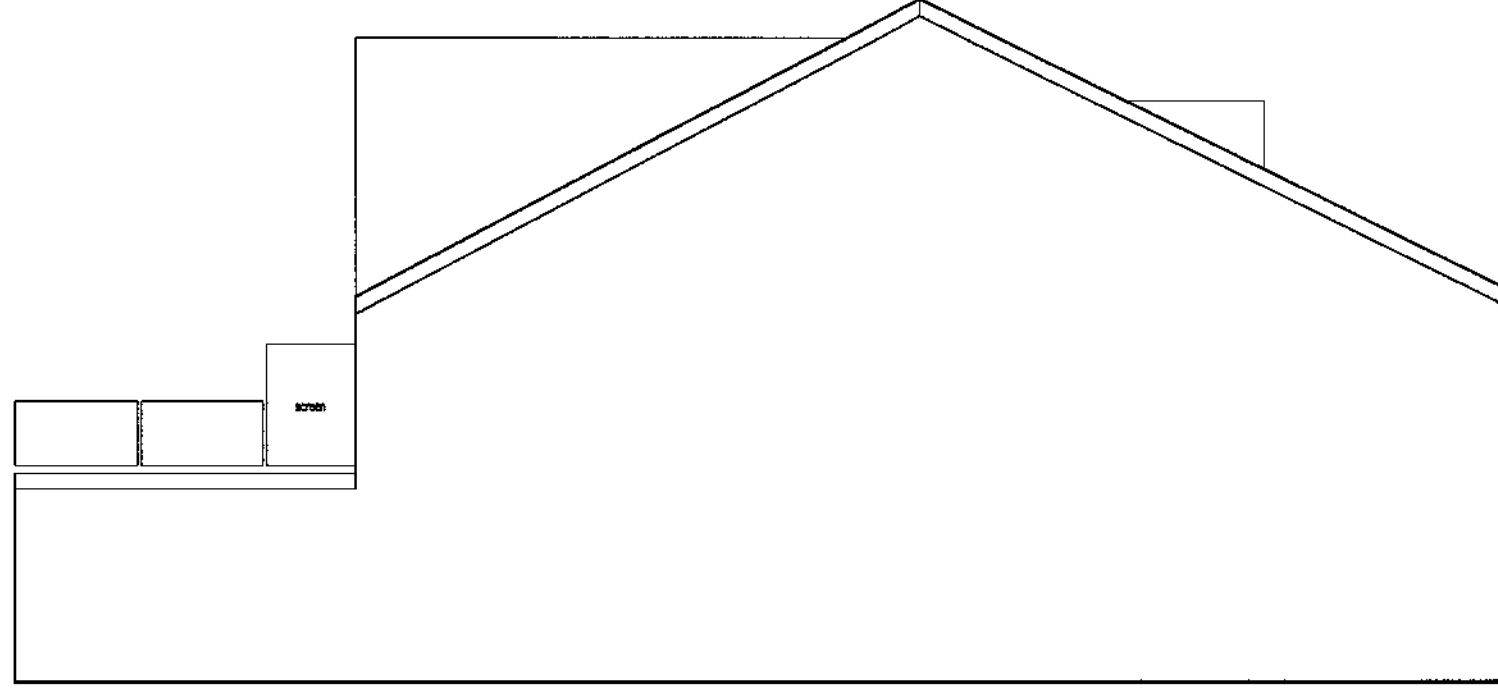
Proposed Retail Units & Apartments.

Phil Hughes
PROFESSIONAL DRAWINGS

Former National Westminster Bank. 238 Pantbach Road, Rhiwbina, Cardiff. CF14 6AX.



proposed side elevation (left)



proposed rear elevation

PP/700

1:100

Phil Hughes
PROFESSIONAL DRAWINGS

Proposed Retail Units & Apartments.

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CARDIFF
CF14 9AD

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COMMITTEE DATE: 21/06/2017

APPLICATION No. **17/00383/MJR** APPLICATION DATE: 07/03/2017

ED: **BUTETOWN**

APP: TYPE: Full Planning Permission

APPLICANT: Associated British Ports

LOCATION: LAND AT CARGO ROAD, CARDIFF BAY, CARDIFF, CF10 4RP

PROPOSAL: PROPOSED HMS CAMBRIA SECURE TRAINING AND EDUCATION FACILITY (USE CLASS: SUI GENERIS) FOR USE BY ROYAL NAVY RESERVE UNIT, INCLUDING MEANS OF ACCESS, PARKING, LANDSCAPE WORKS, BOUNDARY TREATMENT, AND EXTERNAL EXERCISE AREA, FOLLOWING DEMOLITION OF EXISTING BUILDINGS

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. Planning Permission is Granted for the development indicated on drawing references:
 - 08E Vertical RopesA1 Dims
 - 4079-CHT- 00-00-DR-A-01001_Site Location Plan-PL2
 - 4079-CHT- 00-00-DR-A-01002_Site Demolitions Plan-PL2
 - 4079-CHT- 00-00-DR-A-01050_Proposed Site Plan-PL8
 - 4079-CHT- 00-00-DR-A-01051_Proposed External Finishes-PL4
 - 4079-CHT- 00-01-DR-A-01101_First Floor GA Plan-PL7
 - 4079-CHT- 00-02-DR-A-01102_Second Floor GAPlan-PL7
 - 4079-CHT- 00-03-DR-A-01103_Third Floor GA Plan-PL7
 - 4079-CHT- 00-GF-DR-A-01100_Ground Floor GA Plan-PL7
 - 4079-CHT- 00-RL-DR-A-01104_Roof GA Plan –PL8
 - 4079-CHT- 00-XX-DR-A-02100_Proposed Elevations PL4
 - 4079-CHT- 00-XX-DR-A-02101_Proposed Elevations -PL1
 - 4079-CHT- 00-ZZ-DR-A-03100_GA Sections Sheet1- PL2
 - 4079-CHT- 00-ZZ-DR-A-03101_GA Sections Sheet2- PL2
 - 8266/48B REGAIN ROPES

Reason: For the avoidance of doubt

3. Confirmation by way of report will need to be submitted for approval to the local planning authority detailing all fixed plant achieves a rating level of background -10dB when measured and corrected at the nearest noise sensitive property, or at the boundary of any site for which residential usage has been established (including for the avoidance of doubt, Plot L

of the Porth Teigr development), in accordance with BS 4142: 2014 (or any British Standard amending or superseding that standard).

Reason: To ensure that the amenities of occupiers of other premises in the vicinity are protected.

4. No development shall commence until a final drainage scheme for the site has been submitted/confirmed to and approved by the local planning authority in writing. The scheme shall confirm the discharge arrangements for foul (including rights of connection and capacity to/of any third party sewer), surface, and land water run-off. Thereafter the scheme shall be implemented in full in accordance with the approved details prior to the beneficial use of the development and thereafter shall be maintained in perpetuity; with no further foul water, surface water and land drainage being allowed to connect directly or indirectly with the public sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

5. Prior to the beneficial use of any dormitory accommodation, a scheme shall be submitted to and approved in writing by the Local Planning Authority which will describe how it is intended that the dormitory accommodation adjacent to the Gym within the development will be sound proofed.

Reason: To ensure that the design of the development will be likely to achieve a sleeping environment for occupants of the accommodation approved.

6. Prior to the beneficial use of any dormitory accommodation adjacent to the proposed Gym, a report shall be submitted to and approved by the local planning authority in writing to evidence that the sleeping areas within the development adjacent to the Gym are insulated to the receipt of sound up to 60dB.

Reason: To ensure that an acceptable sleeping environment for occupants has been achieved.

7. Prior to the commencement of any development works the proposed details of appropriate gas protection measures to ensure the safe and inoffensive dispersal or management of gases and to prevent lateral migration of gases into or from land surrounding the application site shall be submitted to and approved in writing to the LPA. If no protection measures are required than no further actions will be required.

All required gas protection measures shall be installed and appropriately verified before occupation of any part of the development which has been permitted and the approved protection measures shall be retained and maintained until such time as the Local Planning Authority agrees in writing that the measures are no longer required.

* 'Gases' include landfill gases, vapours from contaminated land sites,

and naturally occurring methane and carbon dioxide, but does not include radon gas. Gas Monitoring programmes should be designed in line with current best practice as detailed in CIRIA 665 and or BS8485 year 2007 Code of Practice for the Characterization and Remediation from Ground Gas in Affected Developments.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

8. Prior to the commencement of the development a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (July 2012), unless the Local Planning Authority agrees to any variation.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

9. The remediation scheme approved by condition 8 must be fully undertaken in accordance with its terms prior to the occupation of any part of the development unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Within 6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be submitted to and approved in writing by the Local Planning Authority.

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land

Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document ' Land Contamination: A guide for Developers' (July 2012), unless the Local Planning Authority agrees to any variation.

Reason : To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

10. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

11. Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

12. Any aggregate (other than virgin quarry stone) or recycled aggregate

material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

13. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.
Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.
14. Prior to beneficial occupation of the development, 20 No. Secure undercover cycle spaces shall be provided within the compound and the usage of such spaces shall be monitored and additional spaces provided should demand for the spaces exceed available supply; [or] within 3 months of the request of the Local Planning Authority if such demand can be reasonably evidenced.
Reason: To ensure that sufficient facilities are provided to accommodate those who wish to travel by sustainable modes.
15. Prior to the commencement of development, a construction and environmental management plan providing full details of construction traffic routes, vehicle movements, contractor parking, delivery protocols, dust suppressions, noise mitigation, wheel washing facilities, site enclosures, actual and potential pollution contaminant, site security and other such features as are proposed to minimise interference with, and maintenance of the safe and convenient free flow of traffic along the highway, protection of neighbouring amenity, and protection of the surrounding environment shall be submitted to and approved by the local planning authority in writing. Construction management shall thereafter accord with the approved details.
Reason: To ensure for an orderly form of development with least impact on existing businesses and residences in the area.
16. The development must be undertaken in strict accordance with the recommendations contained within the Wildwood Ecology Ltd

Preliminary Ecological Appraisal submitted with the planning application.

Reason: In the interests of the preservation and wellbeing of protected species and wildlife.

17. Prior to the commencement of development, A final detailed landscaping scheme, comprising a scaled proposed underground services plan; scaled planting plan, plant schedule, tree pit section, topsoil and subsoil specification, planting methodology, implementation plan and minimum 5 year aftercare methodology shall be submitted to and approved in writing by the local planning authority, and shall thereafter be implemented in accordance with the approved details.

Reason: To provide an appropriate and visually enhanced appearance to the area and building.

18. If at any time the use of the premises is to involve the preparation and cooking of hot food, then all fumes from the food preparation areas shall be mechanically extracted to a point to be agreed with the local planning authority and the extraction system shall be provided with a deodorising filter; all fans, pumps and flues shall be so mounted and installed so as not to give rise to any noise nuisance or visual intrusion. Details of the above equipment shall be submitted to and approved by the Local Planning Authority in writing and the equipment installed prior to the cooking of any food commencing and thereafter be maintained in accordance with manufacturer's instructions.

Reason: To ensure that the amenities of adjoining and nearby occupiers are not prejudiced.

19. Any facilities for the storage of oils, fuels or chemicals shall be sited on impervious bases and surrounded by impervious bund walls. The volume of the bunded compound should be at least equivalent to the capacity of the tank plus 10%. If there is multiple tankage, the compound should be at least equivalent to the capacity of the largest tank, or the combined capacity of interconnected tanks, plus 10%. All filling points, vents, gauges and sight glasses shall be located within the bund. The drainage system of the bund shall be sealed with no discharge to any watercourse, land or underground strata. Associated pipework shall be located above ground and protected from accidental damage. All filling points and tank overflow pipe outlets shall be detailed to discharge downwards into the bund.

Reason : To prevent pollution of the water environment.

20. E3D Retain Parking Within Site

21. C3F Details of Access Road Junction

RECOMMENDATION 2 : Prior to the commencement of development, the developer shall notify the local planning authority of the commencement of development , and shall display a site notice and plan on, or near the site, in accordance with the requirements of Article 12 of the Town & Country Planning

(Development Management procedure) (Wales) (Amendment) Order 2016.

RECOMMENDATION 3 : It is confirmed that in making the recommendation to grant planning permission the Local Planning Authority has had due regard to the environmental information submitted as part of this application.

RECOMMENDATION 4 : The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 5 : The Operators and promoters of the facility are requested to encourage those visiting the site to do so by public transport or sustainable transport modes, and not to promote the availability of private vehicle parking on the site for use by anyone other than attending cadets/volunteers/reservists in need of such provision.

RECOMMENDATION 6 : The developer is advised that Cargo Road, adjacent and giving access to the proposed development, is subject to existing Highways Act 1980 Section 38 and Section 278 adoption agreements, that will need to be amended to reflect the amended site access junction.

1. **DESCRIPTION OF DEVELOPMENT**

- 1.1 The Royal Navy Reserve training and education facility is proposed to relocate to Cardiff.
- 1.2 Statutory public consultation required prior to the submission of an application for planning permission for 'major' development was undertaken in accordance with the requirements of the Planning (Wales) Act 2015.
- 1.3 Within this planning application, the new facility is shown to comprise a Circa 4700m² training building, outdoor training space, parking area, landscaping and secure site enclosure.
- 1.4 The building would be some 67 ½ m long by 19 1/2m wide and would have two principal roof heights of 13 ¾ m and 17 m, and would be finished in a diamond grid of equitone fibre cement panels in an assemblage of greys (silver through black) to define different areas of the facades.
- 1.5 The building will include a lobby; induction area; male and female changing areas; dormitories; hall / assembly space, fitness suites; kitchen and canteen area, store rooms, bar; office space (open plan and enclosed), class rooms and teaching spaces with break out areas. Part of the roof space would be used to accommodate photovoltaics and is designed to achieve a sustainability rating of BREEAM 'Excellent'.
- 1.6 An area for the future expansion of the building (16m) is also indicated to be able to be provided as a southern extension to the building as a means of futureproofing the Navy's investment.
- 1.7 The external finishes for the site are a mix of hard and soft landscape treatments including feature paving around the building; slate paving to demarcate the entrances into the building and a flag mast area; tarmac internal highways; a functional concrete parade ground; gravels; grass and ground cover shrubs and tree planting.
- 1.8 The development will be used as a training centre for the military, primarily by HMS Cambria, which is the Royal Naval Reserve Unit associated with Cardiff; and on occasion by the Royal Marines reserves.
- 1.9 The reserves (adult volunteers) would attend the facility for periods of physical training and education to prepare them for periods of active service at sea.

As such the proposed development is considered a 'Sui Generis' use, i.e. a use of so many different characteristics that it would not fit comfortably within any one defined planning use class. As such, if granted planning permission, the building could not be used for any other purpose without a further specific planning permission.

2. **DESCRIPTION OF THE SITE**

- 2.1 The site is an irregularly shaped piece of land of some 0.97 hectares located at the entrance to Cardiff Docks opposite the roundabout junction dividing docks traffic and domestic/business traffic to Porth Teigr (Roath Basin South).
- 2.2 The site has aspect to Cargo Road (Circa 150m) and the site incorporates the termination of Tyneside Road, which also allows the site an aspect to the narrowed waterway between Queen Alexandre Dock and Roath Dock (A frontage of some 100m omitting the path of the Compass Road swingbridge). The site comprises vacant ground, scrub, and contains a number of small buildings of industrial character.
- 2.3 The BBC Roath Lock studios building is located to the south west of the site some 130m away, and the proposed Porth Teigr mixed use office/housing and leisure development would be located to the west on the opposite side of Cargo Road. The perimeter of Plot 'L' of the Porth Teigr development is some 20m from the site boundary and 50m from the proposed building at the closest point. Plot 'L' currently benefits from a resolution to Grant Residential development of circa 104 residential units with a flatted complex on the opposite side of the road to the site.

Operational port land surrounds the site to the north, east and south.

- 2.4 The Cardiff Bay commercial area is located approximately 500 metres to the west of the site and Cardiff City Centre is located 2 kilometres to the North West.

3. **SITE HISTORY**

Site History

01/02091/C	Store/Workshop/Headquarters building for Sea Cadets. Granted December 2001.
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Relevant nearby Site History

09/2120/C	Full Planning Permission for 15,800 sq m BBC Roath Lock television studios Granted July 2010 (Implemented and Operational).
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09/01672/C	Variation of conditions and masterplan (of Outline Planning Permission 03/00099/C) for 1010 residential units, 112,000 sq m office and business space, and 11,000 sq m retail and leisure commercial uses, open space and car parking. Granted March 2015. (Not yet implemented)
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15/00787/MJR Reserved matters permission for 104 units of residential development of 'Plot L' (2.6ha) of Porth Teigr to the west of the application site.
Resolved to be Granted subject to signing of legal agreement July 2015.
(Legal Agreement not yet signed)

4. **POLICY FRAMEWORK**

Planning Policy Wales Edition 9, November 2016

WG Technical Advice Notes

TAN 12: Design (2009)
TAN 15: Development and Flood Risk (2004)
TAN 18: Transport (2007)

Welsh Office Circular

11/99: Environmental Impact Assessment 30/06/99
16/94: Planning Out Crime 25/02/94

Cardiff Local Development Plan 2006-2026 (Adopted January 2016)

KEY POLICIES

KP5: GOOD QUALITY AND SUSTAINABLE DESIGN

DETAILED POLICIES

ECONOMY

EC1: EXISTING EMPLOYMENT LAND
EC3: ALTERNATIVE USE OF EMPLOYMENT LAND AND PREMISES

ENVIRONMENT

EN5: DESIGNATED SITES
EN12: RENEWABLE ENERGY AND LOW CARBON TECHNOLOGIES
EN13: AIR, NOISE, LIGHT POLLUTION AND LAND CONTAMINATION
EN14: FLOOD RISK

TRANSPORT

T1: WALKING AND CYCLING
T6: IMPACT ON TRANSPORT NETWORKS AND SERVICES

WASTE

W2: PROVISION FOR WASTE MANAGEMENT FACILITIES IN DEVELOPMENT

Supplementary Planning Guidance to Adopted LDP

Waste Collection & Storage Facilities Oct 2016

Planning Obligations Jan 2017

Supplementary Planning Guidance to former Local Plan

This guidance is material in so far as it is the most recently approved guidance and is compliant with National Guidance and Policies.

Access, Circulation and Parking Standards Jan 2010

Safeguarding Land for Business and Industry Jun 06

5. **INTERNAL CONSULTEE RESPONSES**

5.1 **Waste**

The waste management facilities are considered acceptable.

5.2 **Parks**

The proposals have no direct impact on Parks Services.

5.3 **Trees**

This site does not hold any existing trees of amenity value and since the majority of the site is sealed, underlying soils are highly unlikely to represent a valuable, re-usable resource for landscaping purposes.

The proposal to incorporate a continuous soft landscape verge along the western and southern boundary and partially along the eastern boundary, is welcomed, as are the incidental areas of soft landscape within the site. As part of my response to the pre-application consultation for this site, I offered comments concerning appropriate treatments in terms of tree and hedge planting. These comments have been followed in the current submission, as shown on the proposed external finishes plan. However, since the extent of soft landscape is greater under this application than under the pre-application submission, there is scope to amend the planting scheme to accommodate an additional x2 trees and a slightly revised palette. I have annotated the submitted proposed site plan to show suggested additions and amendments, summarised as follows: -

Total of x14 new trees and x1 length of evergreen hedge. Trees to comprise x2 large pine species (one pine substituting a proposed Sorbus intermedia) separated by x2 medium sized Hippophae salicifolia 'Streetwise' that will contrast effectively with the pines. Alternating Hippophae salicifolia 'Streetwise' and medium sized Ilex x koehneana 'Chestnut Leaf' in an evergreen Quercus

illex hedge on the southern boundary. These trees will contrast with each other, whereas a continuous, dark, evergreen feature might be perceived as oppressive. Total of x5 standard grown *Arbutus unedo* in more confined beds, and x2 *Sorbus intermedia* or *Crataegus x prunifolia* 'Splendens' as stand-alone trees close to a cycle shelter and bin store. I have suggested minor changes to the proposed drainage layout if possible, to maximise unconstrained root available soil.

- 5.4 All the trees suggested have good tolerance to coastal exposure, but will require access to 30m³ root available soil volume per tree in the case of the pines, 15-20m³ in the case of the *Crataegus*, *Hippophae*, *Ilex* and *Sorbus*, and 5-10m³ in the case of the *Arbutus*. Imported soils should be provided to give these volumes, assuming a profile of 300mm topsoil over 600mm subsoil for all trees, 300mm over 300mm for shrubs including hedging, and 150mm over 150mm for grass and herbaceous elements. Tree planting soils should comprise neutral to slightly acidic sandy loams, certified in accordance with BS 3882:2015 and BS 8601:2013. Tree pits may need to incorporate a soakage layer of clean stone (below minimum 900mm combined topsoil and subsoil), and 150-400mm (dependent on planting sizes and local ground conditions) horticultural grade, sharp, quarried sand, to seat the root-ball on/act as a partial subsoil immediately around the lower half of the root-ball. Shallow root barriers may be required to edge areas directly adjoining tree planting beds, with deeper barriers adjacent drains. Ground anchors or triple, low staking are the preferred methods of support.

A detailed, upfront landscaping scheme is preferred, comprising scaled planting plan, plant schedule, tree pit section, topsoil and subsoil specification, planting methodology and minimum 5 year aftercare methodology.

5.5 **Pollution Control (Noise)**

With regard to the above application I have reviewed the acoustic report and am acceptable to its findings including the proposed mitigation measures for insulation to the bunks situated in the development.

However by way of condition, Confirmation of the proposed construction method to ensure its compliance with the recommend Rw 60dB for the partition between the gym and bunks will need to be confirmed in writing to the local planning authority prior to commencement of development.

The plant noise assessment is correct in its assumption that the local authority would impose a background -10dB requirement this can be covered in the following condition

PC7b PLANT NOISE

Confirmation by way of report will need to be submitted for approval to the local planning authority detailing all fixed plant achieves a rating level of background -10dB when measured and corrected at the nearest noise sensitive property in accordance with BS 4142: 2014(or any British Standard amending or superseding that standard).

Reason: To ensure that the amenities of occupiers of other premises in the vicinity are protected

5.6 Pollution Control Contaminated Land and Air Quality

Further to your correspondence of the 16th March 2017 and 25th May 2017, I confirm our comments are as follows:

The following was submitted as part of the application:

CJ Associates Geotechnical Limited, January 2017; Site Investigation No. AE1176/AE0709 Factual and Interpretative Report.

- 5.7 The above report includes the details and findings of the contamination assessment of the development. It identifies lead and hydrocarbon contamination within the made ground above acceptable levels for the proposed use. Remediation will be required in relation to this, particularly in relation to proposed areas of soft landscaping and the decommissioning of fuel tanks and the surrounding ground. A remediation strategy will need to be submitted for approval. Subsequently, any approved remediation will need to be verified.
- 5.8 The report also provides a ground gas assessment, based on which the conditions at the development are concluded to be Characteristic Situation of (2). Gas protection measures will be required and the details of those measures proposed will need to be submitted for approval and approved measures must be verified.
- 5.9 Should there be any importation of soils to develop the landscaped areas of the development, or any site won recycled material, or materials imported as part of the construction of the development, then it must be demonstrated that they are suitable for the end use. This is to prevent the introduction or recycling of materials containing chemical or other potential contaminants which may give rise to potential risks to human health and the environment for the proposed end use.
- 5.10 Shared Regulatory Services requests the inclusion of the following conditions and informative statements in accordance with CIEH best practice and to ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan:
- 5.11 Ground gas protection (amended); contaminated land measures – remediation & verification plan; contaminated land measures - remediation & verification; contaminated land measures – unforeseen contamination; imported soil; imported aggregates; use of site won materials; together with an contamination and unstable land advisory notice

5.12 Transportation

I would confirm that the above application submission has been assessed and is considered to be acceptable in principle subject to the comments and conditions detailed below.

The application proposes the provision of a new 4 storey 4,629 sq/m Royal Navy Training facility including training rooms/spaces, gym, dormitories, changing rooms, lobby and offices, kitchen/canteen/bar areas, parking/servicing, landscaping, recreational facilities and associated works on land to the north of Cargo Road and Tyneside Road. Supporting documents report that the Training Centre will be manned 24 hours/day, employ 10 staff and be routinely attended by some 70 volunteers; and typically operate five days per week 08:00- 16:30; three evenings per week 18:30-22:30; and one weekend per month 19:30 Friday - 15:30 Sunday. Security personnel would be present on site at all times and access to the site would be controlled via a security area.

Vehicle access to the facility is to be taken from Cargo Road via a modified junction at the existing Tyneside Road, submission/agreement of the details for which are subject to proposed planning condition. The proposed car park, along with the rest of the site, will be gated to provide a secure environment. Servicing is to take place at the northern end of the building, where a service area is proposed. The proposal includes the provision of 53 car parking spaces, including disabled spaces, minibus parking, the service area and cycle parking. Pedestrian/cycle access would also be taken from Cargo Road via the secure gatehouse. It is confirmed that visitors to the site (be they staff/volunteers/other visitors) will be encouraged to travel by non-car/sustainable means and make use of local cycle facilities and public transport services.

The site is well connected to the local and strategic highway network via Pierhead Street and Queesgate Roundabout/A4232, and has direct access to good quality footways, cycleways and crossings; which in turn provide walking and cycling connections to local facilities, amenities and public transport services. Bus stops and the Butetown Rail station are within acceptable walking and cycling distance of the site. Ongoing redevelopment in the vicinity of the site will also enhance the built environment and provide further improved walking and cycling facilities over time.

It is considered that the proposed development is acceptable in transport terms subject to the requested conditions, and as such any objection on traffic or parking grounds would be unsustainable.

The following conditions are sought:

Standard condition E3D Retain Parking Within Site;

Standard condition C3F Details of Access Road Junction;

Standard condition C3S Cycle Parking;

Construction Management Plan condition.

Second recommendation:

The developer is advised that Cargo Road, adjacent and giving access to the proposed development, is subject to existing Highways Act 1980 Section 38 and Section 278 adoption agreements, that will need to be amended to reflect the amended site access junction.

5.13 Ecology

A preliminary Ecological report was recommended at pre-application stage. This has been undertaken.

5.14 Regeneration

No comments received

5.16 Drainage

No comments received

5.17 Cardiff Harbour Authority

No comments received

5.18 Housing

Although the site provides for on-site dormitory accommodation, the sui-generis use is not considered to constitute 'housing' as such. On this basis the housing manager has no comment on the application.

6. EXTERNAL CONSULTEE RESPONSES

6.1 Natural Resources Wales

6.2 In response to the Local Planning Authority consultation, NRW confirmed that they maintain significant concerns in respect of foul drainage, pollution prevention and land contamination as expressed at the Statutory Pre-application stage. They recommend that the LPA should only grant planning permission if the scheme can meet their requirements, and that NRW would object if the scheme does not... NRW's advice regarding designated sites and flood risk management remain as at the time of the pre-application response.

6.3 NRW have provided a copy of the response which they had provided the applicant at the statutory pre-application consultation stage, as follows:

6.4 Foul Drainage

At full planning application stage, we would require details regarding foul drainage. We note the reference to an offsite sewer system, however it is not explicit as to whether this is a DCWW drainage network or an internal dock system operated by ABP. If it is an internal dock drainage system, it should be indicated as to whether access to the network has been agreed (assumed with ABP) and whether it will have capacity for the proposed development.

6.5 Pollution Prevention

The site is in close proximity to the docks, which are hydrologically connected to the River Severn. It will be important to ensure that appropriate measures are taken to prevent demolition / construction works from affecting water quality, details of such measures / pollution prevention measures should be provided as part of a Construction Environment Management Plan (CEMP), which should be submitted at formal planning application stage.

Working areas may need to be dewatered. There should be no discharges made to the docks without prior consent from NRW. Demolition/construction wastes must be safely stored on site prior to disposal by registered waste carrier.

We will be pleased to comment further when more detailed information is available.

6.6 Land Contamination

We have reviewed the following documents:

1. Site Investigation No. AE1176/AE0709 Factual and Interpretative Report, Proposed Training Facility, Cardiff Docks. CJ Associates Geotechnical Limited, January 2017.
2. Site Investigation No. AE0709 Piling Risk Assessment Proposed Training Facility Cardiff Docks. CJ Associates Geotechnical Limited, October 2016.

We accept the conclusion of the site investigation report as moderate risk to controlled waters from the site.

At the planning application stage we will require details on how the ground fuel tank has been or will be decommissioned, i.e. demonstrating that the ground below the tank is checked for potential contamination, any potential contamination risks are identified and any remediation undertaken.

It is recommended that the requirements of Planning Policy Wales and the Environment Agency Guiding Principles for Land Contamination (GPLC 1, 2, and 3), March 2010, should be followed – NRW have adopted this guidance. Furthermore, if, during development, gross contamination is found to be present at the site the Local Planning Authority may wish to re-consult the Natural Resources Wales.

Designated Sites

Severn Estuary Site of Special Scientific Interest (SSSI), Special Area of Conservation (SAC) Special Protection Area (SPA), RAMSAR

Provided the proposals are undertaken as stated in the documents provided, we consider that the proposal would not be likely to have a significant effect on the Severn Estuary SAC and SPA.

6.7 Flood Risk Management

We have considered the FCA undertaken by Hydrock, dated January 2017. The FCA indicates the following:

- The finished floor levels will be in the order of 9.6m AOD.
- The site is protected by tidal flood defences.
- The site is predicted to be flood free in a 1 in 200 year tidal scenario with a 100 year lifetime of development. This is compliant with the guidance in Technical Advice Note 15: Development and Flood Risk (TAN15) (July 2004).
- The site is predicted to be at risk during a 1 in 1000 year tidal event with a 100 year lifetime of development. In this scenario, a maximum flood depth of up to 500mm is predicted, which is within the tolerable limits of TAN15. However this data incorporates an additional allowance for uncertainty (the upper level 95% confidence bound), and is therefore very precautionary.

In consideration of the above, we offer no objection to the proposal from a flood risk perspective.

6.8 Other Comments

Please note, if further information is prepared to support an application, it may be necessary for us to change our advice in line with the new information.

You should be advised that, in addition to planning permission, it is your responsibility to ensure all other permits/consents relevant to the development are secured.

If you have any further queries, please don't hesitate to contact us.

6.9 In a later communication with the applicant, NRW confirmed that:

6.10 Foul Drainage

At application stage we will require confirmation from DCWW and the local drainage network provider (ABP) that they are satisfied with taking the foul water from the development.

6.11 Pollution Prevention

We have no further comment at this stage.

Land Contamination

- 6.12 The proposed works for decommissioning the above ground tank are acceptable. At the planning application stage we would require a verification report detailing the decommission of the tank and remediation of the ground below the tank; a simple technical note to support the application would be sufficient.

6.13 **Welsh Water**

We would request that if you are minded to grant Planning Consent for the above development that the Conditions and Advisory Notes provided below are included within the consent to ensure no detriment to existing residents or the environment and to Dwr Cymru Welsh Water's assets.

6.14 SEWERAGE

The proposed site falls within land controlled by the Associated British Ports (ABP) which was the subject of an appeal during the time of the private sewer transfer in 2011. As a result the drainage in this land remained as private and therefore the mandatory adoption requirement does not apply unless a connection is sought on land outside of their control.

Having reviewed the details submitted with particular focus on the Flood Consequence Assessment reference 161526-HYD-XX-RA-RP-D-5001 P2 and Drainage Strategy drawing reference STF-HYD-XX-XX-DR-C-0001 rev P3 it appears that a public sewer connection is sought for foul only flows. The location of the proposed manhole connection point appears to be outside of land controlled by ABP and therefore subject to the mandatory adoption requirements under the Water Industry Act.

We acknowledge that surface water generated from the proposed site will discharge to Cardiff Docks via an existing outfall. To ensure that this arrangement remains for the lifetime of the development we request that if you are minded to grant planning consent that the following conditions and advisory notes are included within any subsequent consent.

6.15 Conditions

No surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage network

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution or detriment to the environment

6.16 Advisory Notes

The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water Industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com

The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

6.17 WATER SUPPLY

Dwr Cymru Welsh Water has no objection to the proposed development.

A water supply can be made available to serve this proposed development. The developer may be required to contribute, under Sections 40 - 41 of the Water Industry Act 1991, towards the provision of new off-site and/or on-site watermains and associated infrastructure. The level of contribution can be calculated upon receipt of detailed site layout plans which should be sent to the address above.

The proposed development is crossed by a 6 inch distribution watermain, the approximate position being shown on the attached plan. Dwr Cymru Welsh Water as Statutory Undertaker has statutory powers to access our apparatus at all times. I enclose our Conditions for Development near Watermain(s). It may be possible for this watermain to be diverted under Section 185 of the Water Industry Act 1991, the cost of which will be re-charged to the developer. The developer must consult Dwr Cymru Welsh Water before any development commences on site.

Our response is based on the information provided by your application. Should the proposal alter during the course of the application process we kindly request that we are re-consulted and reserve the right to make new representation.

6.18 South Wales Police

Have no observations to make regarding this application.

7. **REPRESENTATIONS**

7.1 **Local Members** have been notified of the proposals.
No comments have been received.

7.2 **Neighbours** have been consulted and the application has been advertised in the local press and very liberally by site notice. No representations have been received.

8. **ANALYSIS**

8.1 **Environmental Impact Assessment**

The works are not a Schedule 2 development for the purposes of assessment under the Environmental Impact Assessment regulations in terms of quantum, and are not considered likely to have any significant environmental effects warranting the submission of an Environmental Statement to allow the Local Planning Authority to determine the environmental implications of the development.

The application is accompanied by

An Acoustics report
Design and Access Statement
External Lighting Strategy
Flood Risk Assessment
Mechanical/Electrical/Utilities Report
Piling Risk Assessment
Preliminary Ecological Appraisal
Site Investigation Report
Transport Statement
Statutory Pre-Application Consultation Report.

These documents are considered sufficient to allow the Local Planning authority to consider the likely environmental effects of the development.

8.2 **Land Use**

The application site is identified as existing employment land (EC1.2 Cardiff Port) as defined by the LDP proposals map. Policies EC1 and EC3 are therefore of relevance. This policy framework aims to protect existing employment land for B Use Class employment to ensure that a range and choice of employment land and premises are available across the city to assist economic competitiveness, encourage entrepreneurship and promote the growth of indigenous business. Policy EC3 identifies a range of criteria against which applications for the alternative use of business and industrial land will be assessed.

8.3 The existing brownfield site is currently occupied by the Cardiff Fuel Centre, Cabins and outbuildings formerly associated with the Cardiff Sea Cadets and

Atkins Trade Specialists. The proposed development is a secure training facility for Royal Navy Reserves.

Under policy EC3, the Council seeks the retention of employment land and premises identified in Policy EC1 and defined on the Proposals Map unless it can be clearly demonstrated that:-

- i. The land and premises are no longer well located for business, industrial and warehousing use; or
- ii. There is no realistic prospect of employment use on the site and/or the property is physically unsuitable for employment use, even after adaption/refurbishment or redevelopment; or
- iii. There is no need to retain the land and premises for business, industrial or warehousing use, having regard to the demand for such land and premises and the requirement to provide for a range and choice of sites available for such use; and
- iv. There will be no unacceptable impact on the operating conditions of existing businesses.

- 8.4 Although a Sui Generis use (A use not falling wholly or characteristically within any given Town Planning Use Class) , the proposed training facility would create a minimum equivalent of 10 FTE jobs on land identified for employment; a number that is comparable to that which would arise from general industrial use (Use Class B2) on the site. The development would also train 70 reservists who would receive pay for every drill night and weekend. The proposed training facility would also not prevent or impact on the operating conditions of existing businesses at the port or prejudice the potential future use of the site for port related activities.

Given the development site is modest in size (0.97ha), equivalent to just 0.77% of the operational port land; that use class B employment generating uses would continue to operate on the remaining land and; the training facility will provide an employment and training function on land identified for employment purposes, the application raises no land use policy concerns.

8.5 Design

Layout

The site is some 0.97 hectares of irregular shape, but roughly paralleling the highway boundary of Cargo Road (N-S axis). Vehicular access would be provided from the North via an upgraded site access from Cargo Road, first into a holding enclosure and then into a secure compound.

The building is provided to the north east of the site, and has a one way internal access road to the west, and parking facilities to its west and south west. A hard surfaced parade ground is located to the south of the site together with ancillary climbing rope apparatus.

A layby would be located outside of a gatehouse secure entry point. Cars and minibus movements would be directed around a one access route with 53 standard parking bays, and 6 disabled bays located opposite the main entrance.

The building would initially provide approximately 1250m² coverage of a 9700m² site but is proposed to be able to be extended by a further 290m² to allow for an element of future proofing.

8.6 Scale and Mass

The building would be some 66m x 19m in footprint with its longest edge running north-south. This would be constructed to 4 storey height with parapet to a height of 17 ¼ m. The potential area of future extension would be a storey lower than the main building at its southern end.

The elevations of the building are of the nature of a parallelogram/rhomboid presentation which is enhanced by the choice of finish as detailed below; and the building conveys a very ship like quality both in scale, mass and finish.

8.7 Finish

The development proposes a high quality, exciting contemporary building and its concept is to encompass both the character and heritage of the Royal Navy in the form of a dynamic building of modern design.

The building is clad in bands of diamond shaped panels, which in composition reflect the waves of the sea and land mass in a variety of grey tones from silver to slate. The diamond nature of the panel provides a very bold and exciting appearance. A number of glazing panels are also of a diamond shape form on the western frontage of the building, remaining windows are in groups of square shaped windows following the internal floor levels which provides for a porthole style aesthetic. All glazing to the main accommodation is set flush to the outer cladding line to develop a rock face aesthetic. The building has 'fins', and also a balcony situated from the ward room (First floor Northern end) which wraps to the eastern elevation and provides views out across the dock. The stair cores would be glazed along the gables to add a further layer of transparency / activity.

The design is considered an innovative composition which uses the chosen materials very successfully to reflect robustness and solidity of land and a large vessel.

The design by Chetwoods architects is wholly supported.

8.8 Equalities

Section 149 Equality Act 2010 requires that due regard be given to any actual or potential differential impact of the development on the needs of those with protected characteristics.

The scheme includes for disabled parking provision, accessible building design and a lift. On this basis it is concluded that the proposal results in no apparent abnormal differential impact to any user group or individual.

8.9 Utilities

The existing site has a number of underground, and overhead utility / port services which will need to be appropriately cleared, maintained and diverted prior to and in preparation of construction. An existing Western Power Distribution 11kV cable would require diversion.

The new supply would run from the Cargo Road substation under footway to the main security gates to the new building. A Wales and West Utilities low pressure gas main would also need to be relocated to avoid the perimeter fencing around the site, with the supply rising from below ground before entering the new building through the wall of a ground floor plant room. A Welsh Water main would need to be diverted and laid internal and external to the construction boundary. The mains cold water supply would be brought into the site from a connection to a new Welsh Water main in Cargo Road. A new fire hydrant that would be within 18m of the entrance doors to the new building would be provided as part of the diversion works. BT Cables would require significant diversion and again would be undertaken prior to the commencement of construction.

- 8.10 The Planning Officer notes these necessary works but considers these issues of technical approval not material to the determination of the planning application submission as there will be no depletion of infrastructure after the period of construction.

8.11 Amenity of users

A noise survey has been undertaken to understand and assess the need for mitigation of noise from the surrounding port area. The building is an insulated construction and appropriately glazed. Outside activities are not of a nature that would be compromised by port noise as the principal noise source in proximity to the use.

The Pollution Control Officer's request for particular sound insulation measures between the dormitory accommodation and gym within the scheme is noted and requested via condition.

8.12 Amenity of Neighbours.

The building would provide a contained and insulated facility for teaching and associated activities and is not considered likely to impact adversely on any nearby amenities in terms of light or noise nuisance.

The outside parade yard and high rope areas will be utilised for training and drill, but these are considered to be a sufficient distance from the Porth Teigr Plot L boundary where the principle of residential accommodation has been

resolved; and the nearest existing residential accommodation at Adventurers Quay, not to be likely to present a nuisance; and likely comparable to a commonplace relationship between housing and school playgrounds in many areas of the city.

8.13 Renewable Energy

The application is supported by a Mechanical and Electrical Engineering record which confirms that the design will be underpinned by a particularly low energy and sustainable approach, through reducing the requirements for energy and improved efficiency by design including the use of Low/Zero carbon energy sources and renewable technologies. These are shown to include for a 10 kW photovoltaic system which will support the building and grid.

This is welcomed and considered a positive response to the aims of LDP Policy EN12.

8.14 Waste Management

A waste compound is indicated near the site entrance and is acceptable to both the Waste Manager and Planning Officer.

8.15 **Transport**

A Transport Statement Accompanies the application, it predicts that:

- the development will generate around 53 vehicle movements across a daily period. In a typical week, these movements would be generated on three out of five weekdays with the site operating on three evenings per week.

Within the vicinity of the site, the majority of these vehicle movements are likely to occur outside the AM (0800 – 0900) and PM (1700 – 1800) peak hours as the site is operational from 1830 hours.

It is considered that the vehicle trips will not have material impact on the safe and efficient operation of the surrounding local highway network.

- The site is accessible by sustainable means of travel with good walking and cycling infrastructure within the vicinity of the site as well as high frequency bus services operating throughout the day and in the evenings within a 5 to 10-minute walk.
- An appropriate level of on-site car parking has been proposed to suitably accommodate the operational requirements of the development whilst encouraging the use of sustainable modes of travel. The parking provision ensures that any impact from overspill parking on local streets is minimised and is provided to minimum requirements for the operational viability of the site.

- There are therefore no reasons with regard to highways and transport as to why the proposed development should not be permitted.

- 8.16 Although on operational port land, the development falls within the City Centre boundary for purposes of assessment under the Access, Circulation and Parking Standards Supplementary Planning Guidance, where minimum on-site car parking provision would be encouraged.

However the applicant has suggested that the use of the building as unique sui-generis use would have a character of use for which it might be considered acceptable to consider a similarly unique parking standard.

The Parking Standards SPG at Para 3.1.3. allows for such consideration, recognising that non land use specific uses will be considered on a site specific basis; and para 3.1.4. provides the criteria upon which such site specific assessment will be undertaken.

- 8.17 In terms of envisaged usage, the proposed site will comprise a training facility, a parade ground, a gym, accommodation for up to 60 adult volunteers are proposed to be accessible 24 hours a day via controlled / secure access arrangements.

The main hours of operation for the proposed training facility will however be on three weekday evenings between 1830 and 2230 and on weekends between 1930 on a Friday and 1530 on a Sunday. A total of approximately 70 adult volunteers and 10 staff are anticipated to be on-site at any one time during these hours of operation. Outside of the main hours of operation the site will be available for use by the wider community.

- 8.18 The compound is shown to provide parking space for 53 car parking spaces, two minibus spaces, six disabled spaces, and a covered cycle shelter.

- 8.19 If considered as a business facility (e.g. offices), the maximum parking allocation indicated within the adopted parking guidelines, given the sites location in the central area, would be 16 car parking spaces plus reasonable operational/servicing space, 20 longterm cycle spaces, and 4 short term cycle spaces. If considered as a boarding school, a maximum of Circa 30 parking spaces would be permitted, together with reasonable operational/servicing space and cycle parking provision. If considered as a non-residential training facility then only operational parking space would be permitted.

- 8.20 The Planning Officer has therefore considered the reasonableness of overprovision of circa 23 on-site car parking spaces against the standards contained in the adopted guidelines in terms of the special nature of the use, likely travel patterns, and times of operation, and requirement for secure parking to ensure for the safety of those attending the building.

- 8.21 It is noted that the majority of the movements associated with the Navy Reserve usage of the site are likely to occur outside of network peak hours, [AM (0800 – 0900) and PM (1700 – 1800)] and that more pertinently, training will take place

over weekends and during evenings/overnight when public transport options are less likely to be as frequent/available/convenient. This in addition to the special nature of the use, which would attract attendees on a region basis, potentially with uniform and kit, is considered sufficient to reason a requirement for the 53 car parking spaces proposed; although the planning officer would caveat any recommendation for planning permission, to require the facility to advise those visiting the site to use sustainable transport modes via submission and implementation of a travel plan, and not to promote the availability of parking on the site for anything other than reservists or operational usage.

- 8.22 The proposals indicate ten no. undercover cycle parking spaces, based on the predicted ratio of attendee usage. As this is proportionately lower than that indicated in the parking guidelines, and on the basis that the site is very well serviced by cycle paths and cycle routes, the planning officer remains of a mind to require the provision of an additional 10 cycle spaces, and to elevate the advised intention to “monitor the provision against demand” to a requirement by means of planning condition, and these are recommendations of this report..
- 8.23 Access to the site will be provided via a relocated priority junction with Tyneside Road / Cargo Road bordering the western periphery of the application site. This access will be used to service both the proposed development site and an adjacent site directly to the west of the development site.

8.24 **Economy**

Cardiff are pleased that the Royal Navy have chosen the Port of Cardiff as the home for training of Navy Reserves. This is seen as having both direct and indirect economic benefits to the City's economy.

8.25 **The Natural Environment**

A preliminary ecological appraisal has been submitted with the application which confirms that the site is part of the Cardiff docks area, with shipping canals in proximity. The land on which the Site is located is described as an island, with Roath Basin, Roath Dock and Queen Alexandra Dock surrounding it.

- 8.26 All habitats within and immediately adjacent to the Site were classified and mapped. All habitats with the potential to support rare, protected, or otherwise notable species of flora or fauna were noted. A habitat map was drawn up incorporating target notes used to highlight features of particular ecological interest. The study also looked for the presence of invasive plant species such as knotweed and Himalayan Balsam. Habitats and features with potential to support protected and/or notable conservation priority species of fauna, were also recorded.
- 8.27 The report concluded that there are no statutory or non-statutory designations on the site itself; Noted that the Severn Estuary SAC, SPA, Ramsar and SSSI designated is a minimum of 680m away from the development site; that the three locally designated SINCs found within 1km of the Site are all sufficiently

well separated from the site that no direct or indirect impacts on their designated features are anticipated as a result of the development; that the habitats observed included semi-improved neutral grassland, scrub, bare ground, buildings and hardstanding areas and standing water; and that the onsite buildings provide negligible potential for roosting bats.

8.28 The report makes recommendations in respect of the identified habitats and mitigation measures relating to prevention of pollution of the docks; the undertaking of a Habitats Regulations Assessment by the LPA; lighting in respect of disturbance to bats; vegetation clearance outside of the bird nesting season; otters; and enhancement of habitats through appropriate landscaping an incorporation of roost boxes into the development

8.28 The Planning Officer concludes that the report findings and recommendations are reasonable and can be translated to planning conditions (indicated in the recommendation of this report). No further requirements have been requested by the Council's Ecologist.

8.29 Pollution - Contaminated Land and Air

The applicant has undertaken site investigation including ground conditions/ground gas and hydrological survey and is aware of the condition of the land.

In summary the ground is soft and made up and contains elevated levels of contamination which will need to be mitigated against and which would favour a piled foundation to the building in design terms. However the site would not appear to possess any characteristics that could not reasonably be addressed by planning condition and mitigation.

The Pollution Control Officers comments and requirements are noted and concurred with and appropriately worded conditions are recommended as indicated.

8.30 Pollution – Noise and Amenity

The Design and Access statement advises that the development would not include activities that would result in high levels of noise that would have an adverse impact on surrounding uses; and that the same would apply in respect of air quality.

8.31 The planning officer notes that there would be potential for increased off peak traffic movements but considers that these would be unlikely to have such adverse amenity implications as to be damaging to existing occupiers at Adventurers Quay or at the proposed development of Plot L of Porth Teigr when considered against the activities of those developments, and the BBC television studios, the existing traffic usage of Cargo Road and Porth Teigr and against existing background Port Noise.

Access point to the facility would be some 30m away from the boundary of the plot L development of Porth Teigr at closest point, and the building some 50m away. The building would also be some 160m from the nearest accommodation in Adventurers Quay.

This is considered acceptable in terms of likely privacy, noise, and neighbour relationships.

- 8.32 Construction activities, including numbers of vehicle movements, dust suppression and operational management will be subject to mitigating measures required in a construction and environmental management plan which can be required by planning condition.

8.33 Flood Risk

The application is supported by a flood consequence assessment.

The comments of Natural resources Wales are noted.

- 8.34 The proposal is for a secure training facility including dormitory accommodation, and is currently located in flood zone 'B' of NRW's Development Advice Map, but has the potential to be within Flood Zone C1 over the expected lifetime of the development if the tidal defence scheme is not maintained and protection increased in line with climate change induced sea level rise.

The proposed development is therefore considered 'highly vulnerable development' with respect to flood risk; however the consequences of this flooding are considered to be able to be appropriately managed on the basis that although providing for dormitory accommodation, that the building does not provide for any permanent place of residence, and given the finished floor levels of the development in excess of 9.6m AOD, that this would sufficiently mitigate against any future extreme flooding event.

As such it is considered that the development is justifiable and acceptable and that the consequences of flooding can be adequately managed.

8.35 Drainage

The comments of Natural resources Wales and Welsh Water are noted.

Surface water /land run-off from the site will be discharged at an unrestricted rate into the Cardiff Docks tidal waters, as per the existing arrangement, using existing outfalls where possible.

An alarmed class 1 oil separator will be provided upstream of the outfall to ensure that the water quality in the dock is not adversely affected.

This is considered acceptable, and appropriate.

- 8.36 The foul water management strategy includes for the facility to discharge foul water from the building via an on-site pumping station to the currently private infrastructure of Porth Teigr (completed in 2012) or via an alternative option which would process foul discharge to an on-site package treatment plant. Natural Resources Wales have raised issues relating to the adopted status of the available infrastructure and to connection rights, however these are legal matters, and the Planning Officer is confident that foul discharges from the development can be practically serviced, and that it is sufficient to apply a planning condition to sign off on the detail of the final proposal in due course.

Welsh Water have clarified the situation but have not objected to the proposal provided that a condition maintains the agreed system in perpetuity. This is a recommendation of the report.

- 8.37 As such the proposal is considered to appropriately address the requirements of Technical Advice Note 15.

9. **SECTION 106 MATTERS**

The development would not require any legal undertaking to allow its provision or offset any impacts in terms of securing mitigation.

10. **RECOMMENDATION**

That Planning Permission be Granted subject to recommended conditions.



1 Site Location Plan
1 : 500

Notes:
Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing is not to be scaled. Use figured dimensions only.
Subject to statutory approvals and survey.

Areas:
Building areas are liable to adjustment over the course of the design process due to the ongoing construction detailing developments.

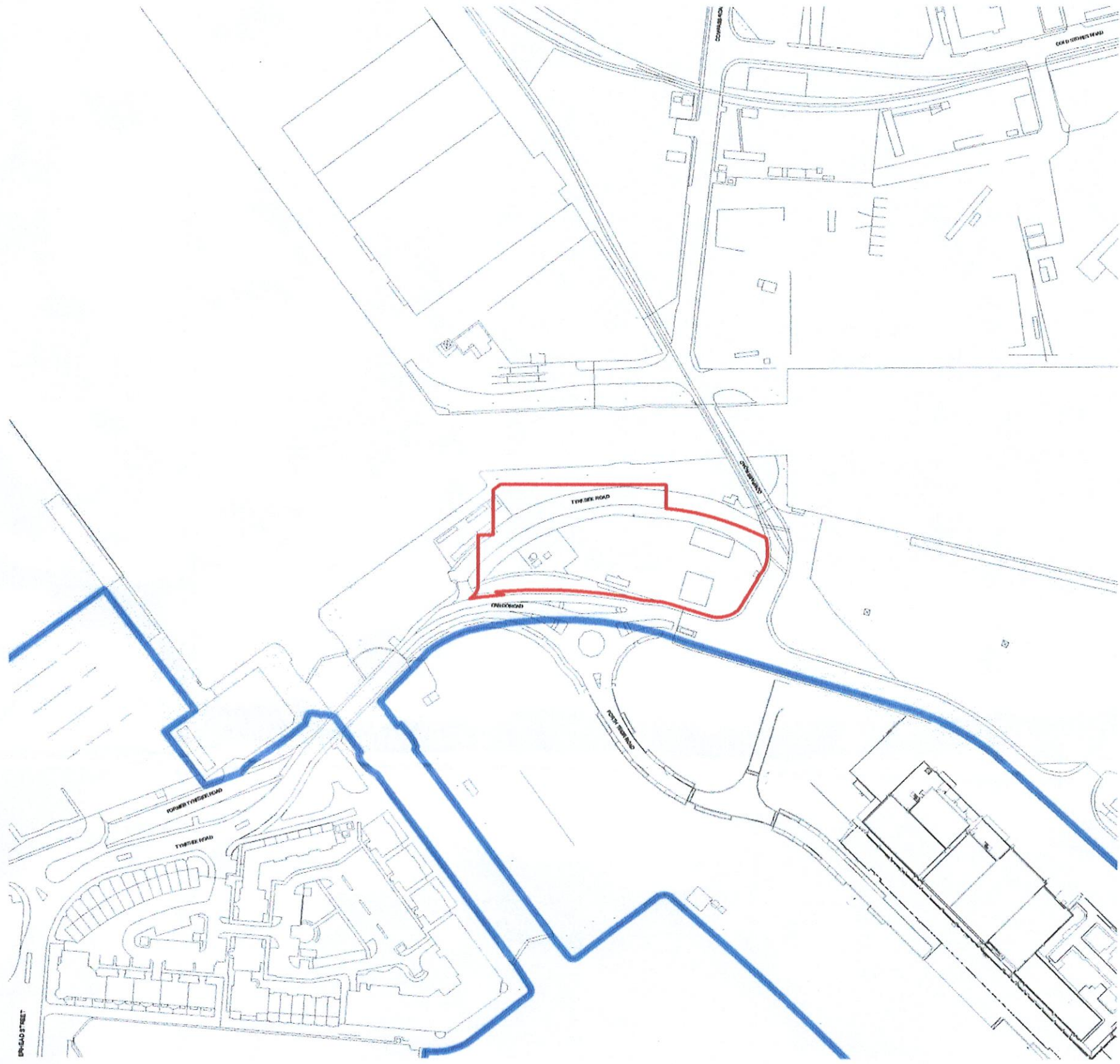
0 20m 50m 100m
1:2500

0 10m 25m
1:500

North

Site Boundary

ABP Ownership



2 Site Location Plan
1 : 2500

17 / 00383

PL 2	Site Boundary amended	09/01/17	ST
PL 1	Issued for client review	11/10/16	ST
Rev	Description	Date	Issued By

PLANNING

chetwoods
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52 frederick street, Birmingham, B1 3HJ
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Project

SECURE TRAINING FACILITY

Client

ABP

Drawing Title

SITE LOCATION PLAN

PL2

Scale	As indicated	Rev	A1	Drawn	ST	TM	Date	31/08/16
Project	4079	CHT	00	00	DR	A	01001	

Notes:
Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing is not to be scaled. Use figured dimensions only.
Subject to statutory approvals and survey.
Areas:
Building areas are liable to adjustment over the course of the design process due to the ongoing construction detailing developments.



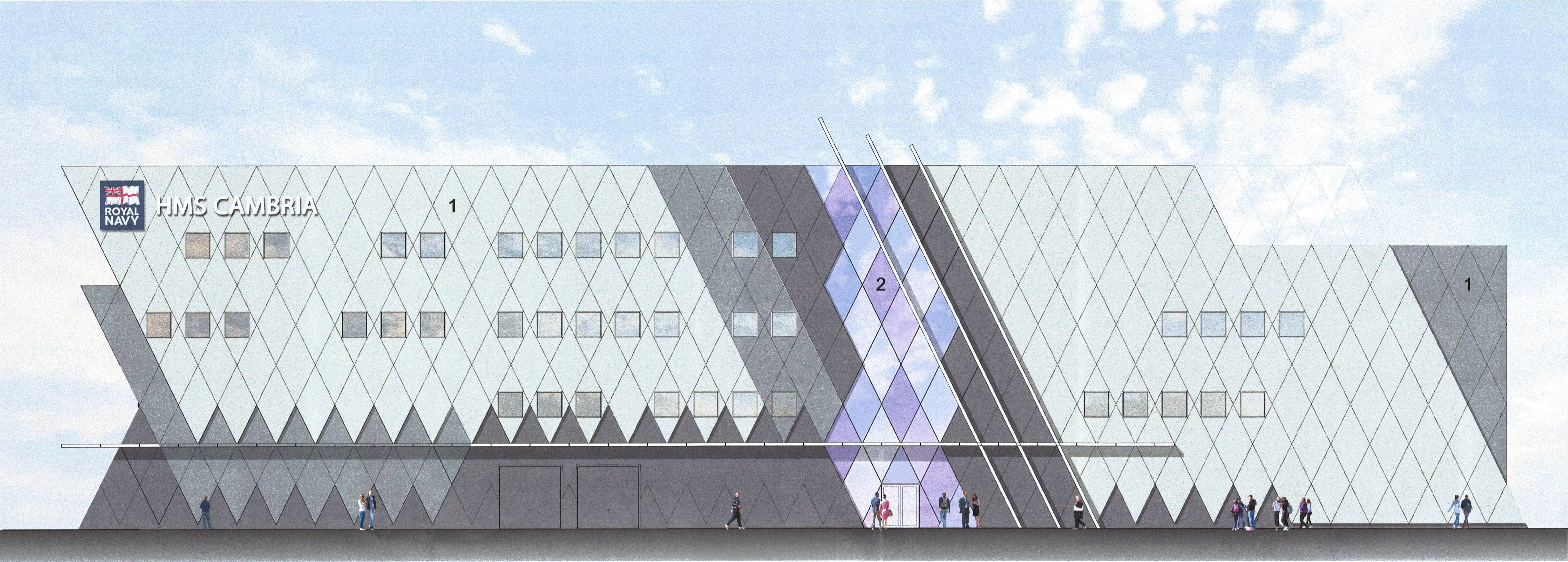
Materials Key:

1
Fibre Cement Panel - Mix of colours

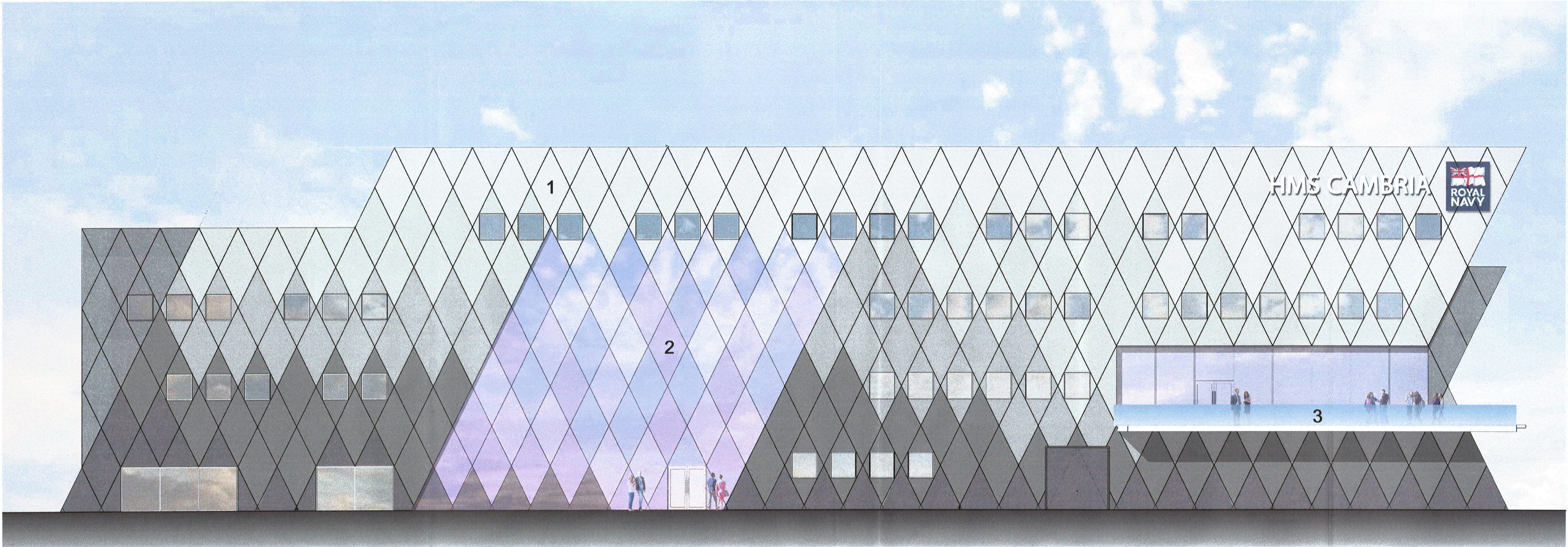
- Classic Grey
- Ash Grey
- Nimbus
- Anthracite
- Obsidian

2
Glazing

3
Balcony



1 West Elevation
1:100



2 East Elevation
1:100

17/00383

PL 4	Material key added	13/01/17	ST
PL 3	Scheme updated	18/11/16	RN
PL 2	Scheme amended	28/10/16	ST
PL 1	Issued for client review	11/10/16	ST
Rev	Description	Date	Issued By

PLANNING

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Project

SECURE TRAINING FACILITY

Client

ABP

Drawing Title

PROPOSED ELEVATIONS
1 of 2

PL4

Scale	1:100	Rev	A1	Drawn	ST	TM	Date	07/04/16
Project	4079	Client	CHT	00	XX	DR	Rev	02100

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COMMITTEE DATE: 21/06/2017

APPLICATION No. **17/00620/MNR** APPLICATION DATE: 21/03/2017

ED: **WHITCHURCH/TONGWYNLAIS**

APP: TYPE: Outline Planning Permission

APPLICANT: Executors of Duncan Edgar Bowden Deceased

LOCATION: LAND AT IRON BRIDGE ROAD, TONGWYNLAIS

PROPOSAL: NEW DWELLING ON LAND ON IRON BRIDGE ROAD

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following conditions :

1.
 - 1) A. Approval of the details of the layout and appearance of the development and the landscaping of the site (hereinafter called "the reserved matters") shall be obtained from the Local Planning Authority in writing before any development is commenced.
 - B. Plans and particulars of the reserved matters referred to in condition 1A above, relating to the layout and appearance of any buildings to be erected and the landscaping of the site, shall be submitted in writing to the local planning authority and shall be carried out as approved.
 - C. Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.
 - D. The development hereby permitted shall be begun either before the expiration of five years from the date of this permission or before the expiration of two years from the date of the last of the reserved matters to be approved, whichever is the later.

Reasons:

A. In accordance with the provisions of Article (3)1 of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012.

B, C and D. In accordance with the provisions of Section 92 of the Town and Country Planning Act 1990.
2. The scale of the development and the means of access shall be in accordance with the following plans and documents (which are for illustrative purposes only in respect of the appearance, layout and landscaping of the site):
 - 5234/SL/- Site location plan
 - 5234/02/a – Proposed and existing plans and elevations

Reason: For the avoidance of doubt as to the extent of the permission.
3. Prior to the commencement of any development works a scheme to investigate and monitor the site for the presence of gases* being

generated at the site or land adjoining thereto, including a plan of the area to be monitored, shall be submitted to the Local Planning Authority for its approval.

Following completion of the approved monitoring scheme, the proposed details of appropriate gas protection measures to ensure the safe and inoffensive dispersal or management of gases and to prevent lateral migration of gases into or from land surrounding the application site shall be submitted to and approved in writing to the LPA. If no protection measures are required then no further actions will be required.

All required gas protection measures shall be installed and appropriately verified before occupation of any part of the development which has been permitted and the approved protection measures shall be retained and maintained until such time as the Local Planning Authority agrees in writing that the measures are no longer required.

* 'Gases' include landfill gases, vapours from contaminated land sites, and naturally occurring methane and carbon dioxide, but does not include radon gas. Gas Monitoring programmes should be designed in line with current best practice as detailed in CIRIA 665 and or BS8485 year 2007 Code of Practice for the Characterization and Remediation from Ground Gas in Affected Developments,.

Reason: To ensure that the safety of future occupiers is not prejudiced, in accordance with policy EN13 of the Cardiff Local Development Plan.

4. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors, in accordance with policy EN13 of the Cardiff Local Development Plan.

5. Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation.

Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced, in accordance with policy EN13 of the Cardiff Local Development Plan.

6. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced, in accordance with policy EN13 of the Cardiff Local Development Plan.

7. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.
Reason: To ensure that the safety of future occupiers is not prejudiced, in accordance with policy EN13 of the Cardiff Local Development Plan.

8. Prior to the commencement of development a site assessment, including ground permeability testing as appropriate, shall be undertaken to ascertain whether sustainable drainage techniques such as soakaway drainage and permeable paving can be utilised for the disposal of surface water run-off, and a drainage scheme for the disposal of both surface water and foul sewage, shall be submitted to and approved in writing by the local planning authority. The drainage scheme shall include sustainable drainage techniques if, as a result of the site assessment, these have been found to be feasible. No part of the development shall be occupied until the drainage scheme is carried out and completed as approved.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

9. The plans and particulars submitted in accordance with Condition 1 above shall include :
- (a) a plan, to a scale and level of accuracy appropriate to the proposal, showing the position of every tree on the site and on land adjacent to the site that could influence or be affected by the development, indicating which trees are to be removed;
 - (b) and in relation to every tree identified, a schedule listing :
 - i. information as specified in the latest edition of British Standard BS5837 – “Trees in Relation to Construction – Recommendations”;
 - ii. any proposed pruning, felling or other work;
 - (c) and in relation to every existing tree identified to be retained on the plan referred to in (a) above, details of :
 - i. any proposed alterations to existing ground levels, and of the position of any proposed excavation, that might affect the roof protection area;
 - ii. all appropriate tree protection measures required before and during the course of development.

Reason : To enable the Local Planning Authority to assess the effects of the proposals on existing trees and any measures required for their protection, to monitor compliance and to make good losses, in the interests of visual amenity and tree protection, in accordance with policies KP5 and EN8 of the Cardiff Local Development Plan.

10. No development shall commence, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved statement shall be adhered to throughout the construction period. The statement shall provide for:
- i) the parking of vehicles of site operatives and visitors;
 - ii) loading and unloading of plant and materials;
 - iii) storage of plant and materials used in constructing the development;
 - iv) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;

Reason: In the interests of highway safety. Security and public amenity, in accordance with policies C3, T5 and T6 of the Cardiff Local Development Plan.

RECOMMENDATION 2: This development falls within a radon affected area and may require basic radon protective measures, as recommended for the purposes of the Building Regulations 2010.

RECOMMENDATION 3 : The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded

that the responsibility for

- (i) determining the extent and effects of such constraints and;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates / soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management licence. The following must not be imported to a development site:
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 5: The applicant is advised that the owners/developers of new residential units are required to purchase the bins required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting the Waste Management's commercial team on 029 20717500. Further information regarding waste/recycling and the types of bins required is available in the Supplementary Planning Guidance "Waste Collection and Storage Facilities", which can be found on the Council's website.

RECOMMENDATION 6: The developer is advised that where any species listed under Schedules 2 or 4 of the Conservation of Habitats and Species Regulations 2010 is present on the site in respect of which this permission is granted, no works of site clearance, demolition or construction should take place in pursuance of this permission unless a licence to disturb any such species has been granted in accordance with the aforementioned Regulations. Bats often roost in buildings, and demolition may disturb a bat roost. All bats and their roosts are protected against disturbance under U.K. and European legislation. If works are planned on a building in which bats are roosting, Natural Resources Wales (NRW) must be contacted. If work commences and bats are found, or if any evidence that bats are using the site as a roost is found, work should cease and NRW should be contacted immediately.

Nesting birds are protected under the Wildlife and Countryside Act 1981: Part 1, 1(1)(b), and it is an offence to intentionally take, damage or destroy the nest of any wild bird while that nest is in use or being built. Any work involving the alteration or removal of trees or hedges should ensure that no nesting birds are disturbed. Any such works should be avoided between the months of March and September if possible; however, if the works are essential then any vegetation to be cleared should be inspected by a competent person prior to operations to identify the location of any active bird nests. If active nests are encountered, these should be protected by a 5m ring of vegetation around the nest. Work should not recommence within this exclusion area until the young have fledged and the nest vacated. Birds also use buildings and other man-made structures as nesting sites and some species breed all year.

1. DESCRIPTION OF PROPOSED DEVELOPMENT

- 1.1 The application is for outline planning permission for the erection of a single dwellinghouse. Approval is sought for access and scale only. Appearance, landscaping and layout are reserved for future consideration.
- 1.2 Vehicular access from the car parking space within the site would be directly onto Iron Bridge Road. Pedestrian access would also be onto Iron Bridge Road, via an inward-opening gate.
- 1.3 The house would be single storey, with a maximum height of 3m and a footprint of around 6.8m x 9m (maximum dimensions).
- 1.4 Indicative drawings show a one-bedroom house of a contemporary design located towards the northern boundary of the site, with more than 30 square metres of outdoor amenity space to the south of the building and space allocated for car parking, partly covered by a pergola, at the north eastern corner.

2. DESCRIPTION OF SITE

- 2.1 The site is an irregularly shaped plot of land containing a concrete panel double garage with access onto Iron Bridge Road, which bounds the site to the east. It has a frontage of approximately 14m to the highway. The western and southern boundaries border a public footpath which leads from Iron Bridge Road to Clos Cae Wal, via a children's play area and open space. The northern boundary abuts a small site containing a single garage, beyond which is a row of three two storey houses. To the south west, beyond the public footpath, is the rear of a dwelling which fronts onto Grants Close and there are traditional terraced cottages on the opposite side of Iron Bridge Road, where the road splits into two, separated by a bank of trees.

3. SITE HISTORY

- 3.1 16/01058/MNR – Outline application for a new dwelling on land on Ironbridge Road currently occupied by disused domestic garage. (Access and scale were not reserved matters). Refused for the following reasons: 1 - a building of the

scale proposed could not be accommodated on this site without breaching the building line to Iron Bridge Road; 2 – a satisfactory amount of useable, private outdoor amenity space could not be accommodated on this site along with a building of the scale proposed.

4. **POLICY FRAMEWORK**

4.1 *Cardiff Local Development Plan 2006-2021:*

KP5 (Good Quality and Sustainable Design);
H6 (Change of Use or Redevelopment to Residential Use);
EN8 (Trees, Woodlands and Hedgerows);
EN10 (Water Sensitive Design);
EN13 (Air, Noise, Light Pollution and Land Contamination);
T5 (Managing Transport Impacts);
T6 (Impact on Transport Networks and Services);
C3 (Community Safety/Creating Safe Environments);
W2 (Provision for Waste Management Facilities in Development).

4.2 *Supplementary Planning Guidance:*

Following the adoption of the Cardiff Local Development Plan, many existing Supplementary Planning Guidance documents are no longer linked to adopted development plan policies. However, where existing SPG is considered consistent with the new LDP policy framework, it will continue to be material to the Development Management process. The following Supplementary Planning Guidance is considered relevant to the determination of this application as it is either adopted or considered consistent with LDP policies KP5, T5 and W2 and can be used to help inform the assessment of relevant matters -

Waste Collection and Storage Facilities (October 2016);
Cardiff Residential Design Guide (January 2017);
Access, Circulation and Parking Standards (January 2010);
Trees and Development (March 2007);
Infill Sites (April 2011).

4.3 *Planning Policy Wales (November 2016):*

4.4.3: In contributing to the Well-being of Future Generations Act goals, planning policies, decisions and proposals should (inter alia):

- Promote resource-efficient and climate change resilient settlement patterns that minimise land-take and urban sprawl, especially through preference for the re-use of suitable previously developed land and buildings, wherever possible avoiding development on greenfield sites
- Play an appropriate role to facilitate sustainable building that seek to minimise the sustainability and environmental impacts of buildings
- Locate developments so as to minimise the demand for travel, especially by private car
- Ensure that all local communities – both urban and rural – have sufficient good quality housing for their needs, including affordable housing for local needs and for special needs where appropriate, in safe neighbourhoods

4.9.2 Many previously developed sites in built-up areas may be considered suitable for development because their re-use will promote sustainability objectives. This includes sites: in and around existing settlements where there is vacant or under-used land, commercial property or housing; in suburban areas close to public transport nodes which might support more intensive use for housing or mixed use; which secure land for urban extensions, and; which facilitate the regeneration of existing communities.

4.11.11: Local planning authorities and developers should consider the issue of accessibility for all.

4.11.12: Local Authorities are under a legal obligation to consider the need to prevent and reduce crime and disorder in all decisions that they take.

9.1.1 The Welsh Government will seek to ensure that: previously developed land is used in preference to greenfield sites; new housing and residential environments are well designed, meeting national standards for the sustainability of new homes and making a significant contribution to promoting community regeneration and improving the quality of life; and that the overall result of new housing development in villages, towns or edge of settlement is a mix of affordable and market housing that retains and, where practical, enhances important landscape and wildlife features in the development.

9.1.2 Local planning authorities should promote sustainable residential environments, avoid large housing areas of monotonous character and make appropriate provision for affordable housing. Local planning authorities should promote (inter alia): development that is easily accessible by public transport, cycling and walking,; the most efficient use of land; well-designed living environments, where appropriate at increased densities; 'barrier free' housing developments, for example built to Lifetime Homes standards.

9.2.12 Higher densities should be encouraged on easily accessible sites, where appropriate, but these will need to be carefully designed to ensure a high quality environment. In particular, local planning authorities should adopt a flexible approach to car parking standards.

9.3.2 Sensitive infilling of small gaps within small groups of houses, or minor extensions to groups, in particular for affordable housing to meet local need, may be acceptable, though much will depend upon the character of the surroundings and the number of such groups in the area.

9.3.3 Insensitive infilling, or the cumulative effects of development or redevelopment, including conversion and adaptation, should not be allowed to damage an area's character or amenity. This includes any such impact on neighbouring dwellings, such as serious loss of privacy or overshadowing.

12.7.3: Adequate facilities and space for the collection, composting and recycling of waste materials should be incorporated into the design of any development and waste prevention efforts at the design, construction and demolition stage should be made by developers.

4.4 *Technical Advice Note 12 - Design (March 2016):*

4.9 Opportunities for innovative design will depend on the existing context of development and the degree to which the historic, architectural, social or environmental characteristics of an area may demand or inhibit a particular design solution. Thorough appraisal of context can provide design pointers, which help to inspire an innovative design response, which meets present and future needs. A contextual approach should not necessarily prohibit

contemporary design.

5. **INTERNAL CONSULTEE RESPONSES**

5.1 *Transportation:* No objections.

5.2 *Drainage:* No comments received.

5.3 *Pollution Control (Contaminated Land):* The site has been identified as being in close proximity to the infilled former Glamorganshire Canal. Such sites are associated with the generation of landfill gases, within subsurface materials, which have the potential to migrate to other sites. This may give rise to potential risks to human health and the environment for the proposed end use. Given the sensitivity of the proposed use and close proximity of potential ground gas source this will necessitate ground gas monitoring and assessment as set out in the standard condition. Whilst contamination is not known at this site the potential cannot be ruled out, I would therefore also include the 'unforeseen contamination' condition. Should there be any importation of soils to develop the garden/landscaped areas of the development, or any site won recycled material, or materials imported as part of the construction of the development, then it must be demonstrated that they are suitable for the end use. This is to prevent the introduction or recycling of materials containing chemical or other potential contaminants which may give rise to potential risks to human health and the environment for the proposed end use.

5.4 *Waste Strategy & Minimisation Officer:* This property will require the following for recycling and waste collections: 1 x 140 litre bin for general waste; 1 x 240 litre bin for garden waste; 1 x 25 litre kerbside caddy for food waste; green bags for mixed recycling (equivalent to 140 litres), the storage of which must be sensitively integrated into the design. The proposed storage area is acceptable. The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste.

6. **EXTERNAL CONSULTEES RESPONSES**

6.1 *Welsh Water:* Note that the applicant intends to dispose of surface water to the public sewer. However, in the absence of a drainage strategy submitted as part of this application we cannot support this proposal. The applicant would be expected to evidence that all alternative methods to dispose of surface and land water by sustainable means have been exhausted. Request conditions and advisory notes to be included in any subsequent consent.

6.2 *Tongwynlais Community Council:* Object to the application for the following reasons:

1. A single storey unit would be out of character with other properties in the area.
2. Iron Bridge Road is already heavily congested and has problems with parking. The proposal is on land used for parking and will reduce available spaces.

3. The site is on the Taff Trail and construction work will have an impact on tourism for the village.
4. Construction vehicles and residents' vehicles will cause safety issues for children attending the nearby school and using the local play area.
5. The site is next to the junction with Grants Close which may cause safety concerns with vehicles turning into the road.
6. Iron Bridge Road is too narrow and congested with parked cars, making access difficult – it is not fit for purpose.

7. **REPRESENTATIONS**

7.1 The application has been advertised by neighbour notification. 10 objections have been received, which are summarised as follows :

- 1) The building work will cause disruption to residents of Ironbridge Rd and Grants Close. There is little space for contractors' vehicles or deliveries to park, and almost all the street is single track. There have been many incidents of traffic being completely blocked from getting in or out of Ironbridge Road by large vehicles. The number of construction vehicles around the site is also likely to cause a dangerous lack of visibility for vehicles turning out of Grants Close.
- 2) The application understates the current amount of traffic on Ironbridge Road (many vehicles access the rugby ground when there is a game on, people park their cars to use the Taff Trail, extremely high numbers of cyclists and pedestrians use Ironbridge Road).
- 3) Parking is a major issue on Ironbridge Road already, 2 spaces will be lost and a new household will be likely to bring additional cars. It would be more beneficial to the local community to restore the garages or create parking spaces, and hire or sell them to local residents. A number of residents would be willing to purchase the land to use as garages.
- 4) There will be a negative effect on the public footpath to the park, which will be narrowed at the entrance (becoming less visible) and made darker and therefore less safe/more prone to anti-social behaviour. The path and play area would become less accessible, as the current kissing gates don't allow access to wide buggies / wheelchairs / children's bikes etc.
- 5) The plans have not addressed the reasons for which the original application was turned down. The proposed development still sits out of the building line of Ironbridge Road and the private outdoor amenity space has not increased from the previous application.
- 6) The plans appear to involve removing a mature tree from the neighbouring property.
- 7) The size, siting, style, design and materials are completely at odds with the character of Ironbridge Road.
- 8) A number of neighbours have not been made aware of the application. No Site Notices have been posted. This has limited the number of comments (especially objections) that the application would otherwise have attracted.
- 9) The proposed dwelling would seek to use the shared drain used by 10,

12 and 14 Ironbridge Road. The drain already has issues due to constant blockages. An additional property using this drain would cause further issues as the drain is not sufficient enough to accommodate a further property.

- 10) Proposed Waste Storage is to be placed on the edge of the property. This would not be stored in the safety of wheelie bins, as they are not afforded to residents of Ironbridge Road by the Council. Consequently this could result in unwanted refuse in the street.
- 11) The proposal states that the plot is unused. This is not true. The site is regularly used as a parking spaces by residents within Ironbridge Road. The plot has also been used as a garage until recently, not 10 years as asserted.
- 12) Properties of a similar size have been built which remain vacant. A new property should not be erected only for it to remain vacant, as it affords unusable space.
- 13) The proposed build would look directly into the neighbour's property and no provision has been made in the plans to address this invasion of privacy.

8. **ANALYSIS**

- 8.1 The site is within an established residential area and therefore there are no objections to the principle of residential development. This is an outline application, the only details to be considered at this stage being access and scale.

8.2 Access.

Access would be directly onto Iron Bridge Road, as it is for the garages at present. Transportation officers have raised no objections and conditions can be used to ensure that the parking space is provided and retained.

8.3 Scale

The previous application related to a two storey house. This was considered unacceptable since, although such a house would be in keeping with the height of existing development in the area, the overall scale of the building would have appeared incongruous and obtrusive given that it would have had to be located forward of the existing two storey building line in order to fit onto the site. The current application is for a single storey structure of modest proportions, which overcomes the previous concerns relating to obtrusiveness and incongruity as it will not have to project any further forward of the two storey building line than does the current garage on the site and it will be around the same height as the garage. The modified scale of the proposed building also allows for the provision of an appropriate amount of outdoor amenity space to serve the development.

- 8.4 A number of objections to this amended scheme have been received (see 7.1 above), to which I would respond as follows –
- 1) A construction management scheme can be required, which would minimise disruption caused by building works and construction traffic. Matters such as dust and noise are controlled under environmental health legislation. It would

be unreasonable to refuse planning permission on the grounds of the temporary disturbance that would be caused by construction.

2) Highways/Transportation officers have raised no concerns about this proposal. A single, small, one bedroom dwelling will not generate any noticeable increase in traffic movements.

3) The proposed parking space would be in accordance with the requirements of the Access, Circulation and Parking Standards SPG. The garage is not currently used for parking and the public does not have the right to park on the site. The applicant cannot be forced to develop the site for parking or to hire/sell the site to local residents for use as parking spaces.

4) A building in the location indicated on the submitted drawing would create a shadow on only a small part of the footpath for part of the day. There would be no significant adverse impact on security as the stretch of path affected is very short and will still be overlooked by other dwellings. The development will not encroach onto the footpath itself and the public has no rights to use the application site as a more convenient access to the open space. If the existing gate is too narrow, it is not the applicant's responsibility to provide an alternative access: if the gate into the park needs widening to allow access for buggies etc, this is a separate issue and is not a material planning consideration in this instance.

5) The proposed building, if located in the position shown on the submitted drawing, will not project any further forward of the building line of the houses than does the existing garage on the site and, as it will be the same height as the garage, there will be no noticeable impact on the building line, which there would have been in the previous case where the proposed building was two storeys in height. The amount of usable outdoor amenity space for this development is considered acceptable. The previous proposal indicated a two bedroom property, suitable for family accommodation, and in that case it was expected that a suitable amount of private outdoor amenity space should be provided in accordance with the Infill Sites SPG - *"it should be demonstrated that the size and type of external amenity space is appropriate to the type of development and to the urban grain of the area"* and *"Houses and ground floor flats that will serve as family accommodation should include enclosed and secure private amenity areas. Depending on context, such amenity areas should measure at least 10.5m in depth or 50m² overall."* The proposed development is now indicated to be a small, one bedroom unit (not suitable as family accommodation) and the 34 square metres of enclosed, south-facing, outdoor amenity space (plus 23 square metres to the north east of the building accommodating a parking space and bin storage area) indicated on the drawings is considered to be appropriate to the type of development, as required by the SPG.

6) There is a young ash tree partly overhanging the site to the rear; however, the tree is not protected by a Tree Preservation Order and is not of high amenity value. The consent of the tree's owner would be needed to remove it entirely but any parts that overhang the boundary could be cut back without the need for such consent. This application relates only to details of access and scale, and any future reserved matters application relating to the siting of the building will have to show how the presence of the tree had been taken into account.

7) The layout and appearance of the development are reserved matters, not for consideration at this stage. The size of the proposed building is in keeping with

the scale of development already on the site. There will be no adverse impact on the character of the area.

8) The application has been publicised in accordance with article 12 (5) (b) and article 12 (7) of the Town and Country Planning (Development Management Procedure) Order 2012 (as amended) and the application has attracted the same level of objection as did the previous proposal.

9) Welsh Water have been consulted and have raised no concerns regarding the capacity of the sewers. A condition can be imposed to require surface water drainage details to be approved before development commences, as requested by Welsh Water, to ensure that additional land drainage/surface water does not overload the sewerage system.

10) The precise location of the bin storage area is not for determination at this stage as this application relates to details of access and scale only. However, it should be noted that the Waste Strategy & Minimisation Officer has raised no concerns and there is no suggestion that wheelie bins could not be used: in fact, they give advice regarding the types of bins that the developer will be required to purchase.

11) Whether or not the site is currently in use for parking is irrelevant to the consideration of this application. It is not a public car park and the site owner may choose to prevent local residents parking vehicles here. The site is not the subject of any previous planning condition requiring it to be retained for parking.

12) This application must be determined on its own merits – the fact that other developments may have remained empty is not relevant and is not a reason to refuse planning permission for this proposal.

13) The indicative drawings submitted with the application demonstrate how a dwelling could be designed so that the windows did not face towards the windows of other properties at close distance. However, this aspect of the development is not for consideration at this stage.

- 8.5 In response to the objections raised by the Tongwynlais Community Council: the size of the proposed building is in keeping with the scale of development already on the site and there will be no adverse impact on the character of the area, which consists of a mixture of residential properties of varying styles and sizes. Highways/Transportation officers have raised no concerns about this proposal: the proposed parking space would be in accordance with the requirements of the Access, Circulation and Parking Standards SPG, the general public does not currently have the right to park on the site and could be prevented by the owner from doing so at any time, therefore there are no “available spaces” being lost, and there are no planning conditions requiring the site to be retained for parking. Construction work would be short-term and not on such a large scale that it would affect people’s decision as to whether or not to use the Taff Trail. A construction management scheme can be required to ensure that the developer considers issues such as delivery times and the parking of construction/staff vehicles, which will reduce disruption at busy times and help to protect children arriving at and leaving the nearby school. No concerns have been raised by Highways/Transportation officers regarding highway safety or the width of the road and, with regard to the junction with Grants Close, it should be noted that the vehicular access to/from the application site is in the same location as an existing garage.

- 8.6 In conclusion, the principle of residential development is acceptable in this area and a development of this scale will have no adverse impact on visual amenity, the amenities of neighbouring residents or the character of the area, and will enable an appropriate amount of outdoor amenity space and car parking to be provided on the site. The access, directly onto Iron Bridge Road, will be in the same location as the existing access serving the garages and is acceptable. It is recommended that the application be approved subject to the conditions set out above.

9. **OTHER CONSIDERATIONS**

9.1 *Crime and Disorder Act 1998*

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 *Equality Act 2010*

The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic, over and above any other person.

9.3 *Well-being of Future Generations (Wales) Act 2015*

The Well-being of Future Generations (Wales) Act 2015 places a duty on the Welsh Ministers (and other public bodies) to produce well-being objectives and take reasonable steps to meet those objectives in the context of the principle of sustainable development. The duty to improve the economic, social, environmental and cultural well-being of Wales, in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015 (the WBFG Act), has been considered and account has been taken of the ways of working set out at section 5 of the WBFG Act in the determination of this application, and it is considered that this decision is in accordance with the sustainable development principle through its contribution towards one or more of the well-being objectives referred to in section 9 of the WBFG Act.

9.4 *Environment (Wales) Act 2016*

The Environment (Wales) Act 2016 imposes a duty on the Local Authority to seek to maintain and enhance biodiversity in the proper exercise of its functions. and in doing so to promote the resilience of ecosystems. It is considered that the proposed development does not have any significant implications for, or effect on, biodiversity.



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Project:

Ironbridge Road
Plot adjoining No 14

Title:

Site Location Plan

@rchitecture

32 Castell Coch View
Tongwynlais Cardiff CF15 7LA
02920520800
design@architecture.co.uk

5234

Project

SL

Drawing

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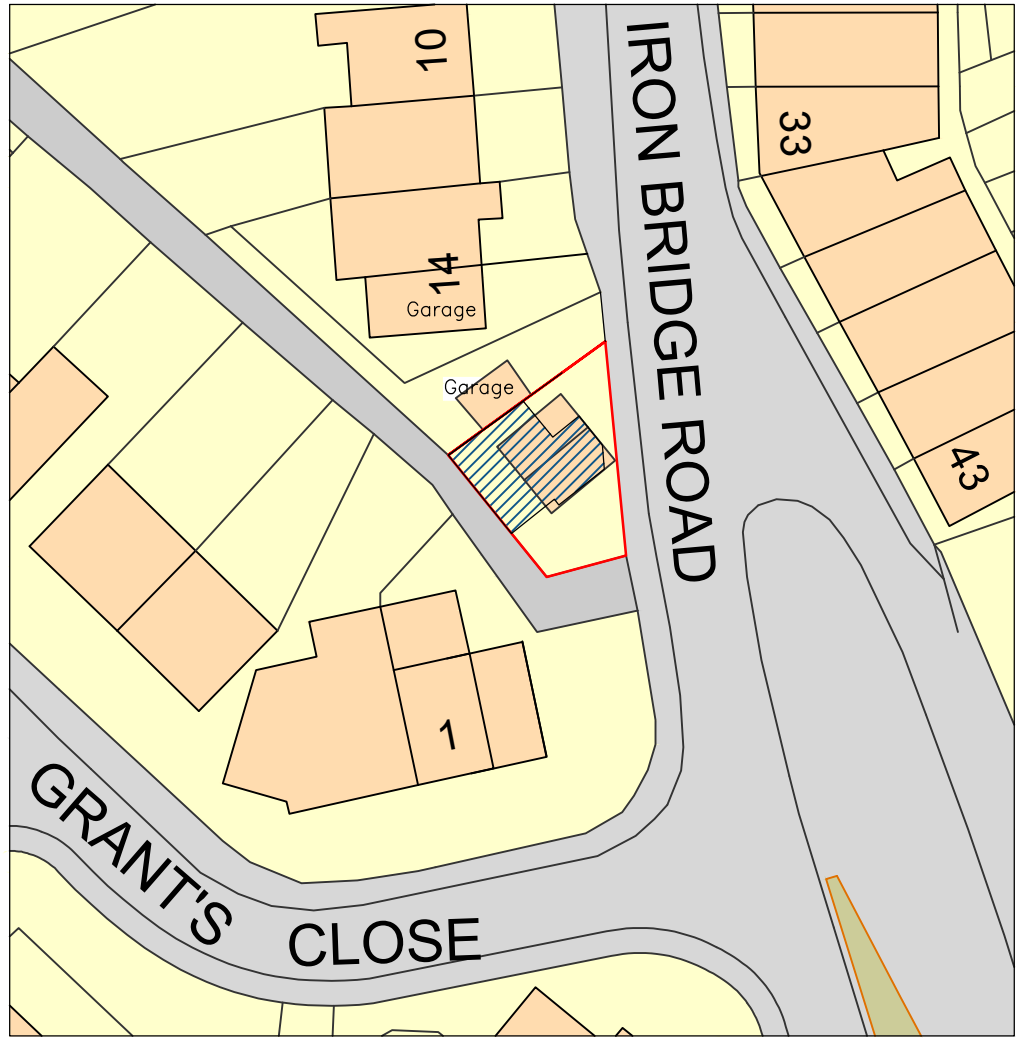
Amnd

MJP
04/2016

Drawn
Date

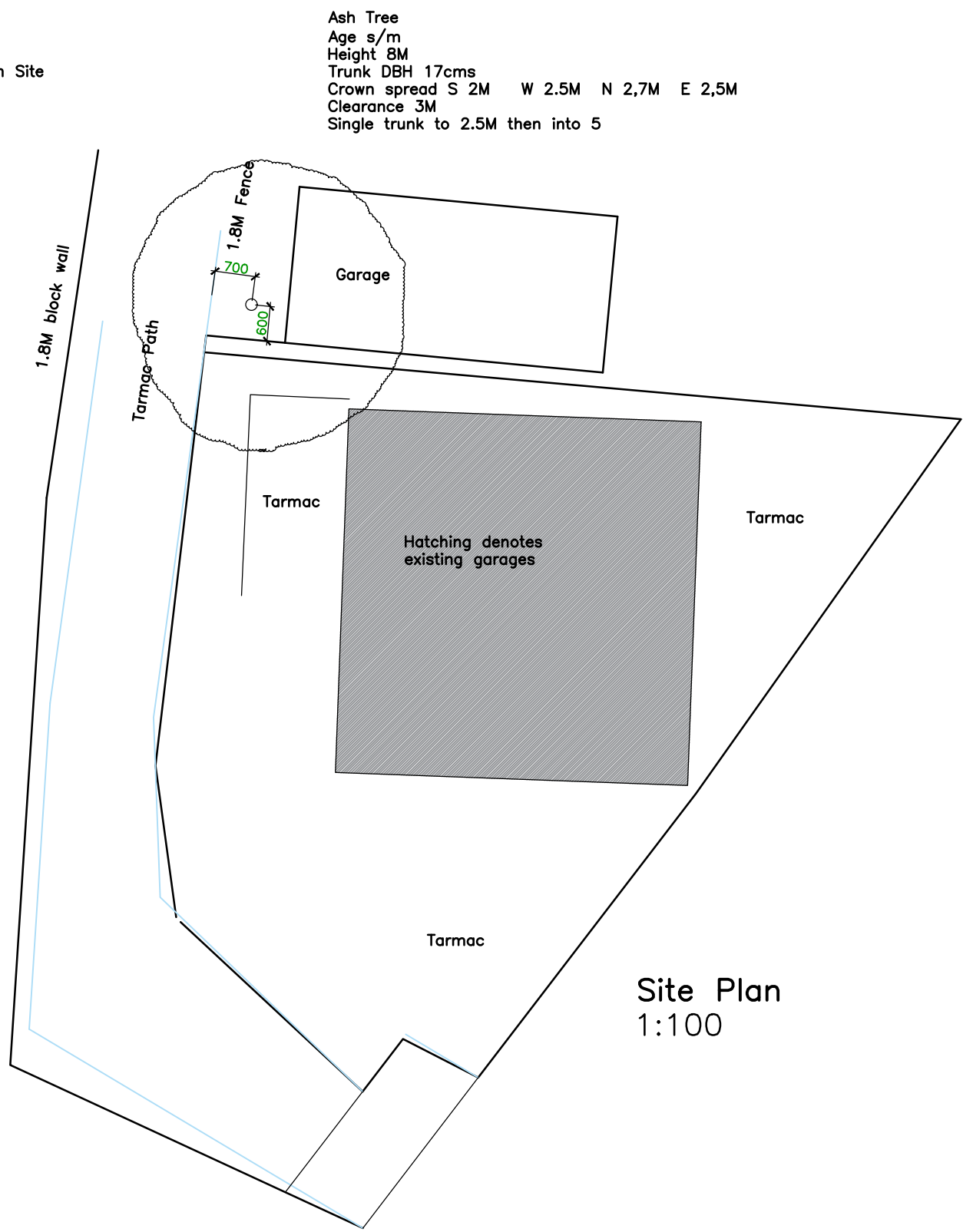
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1000

Scale

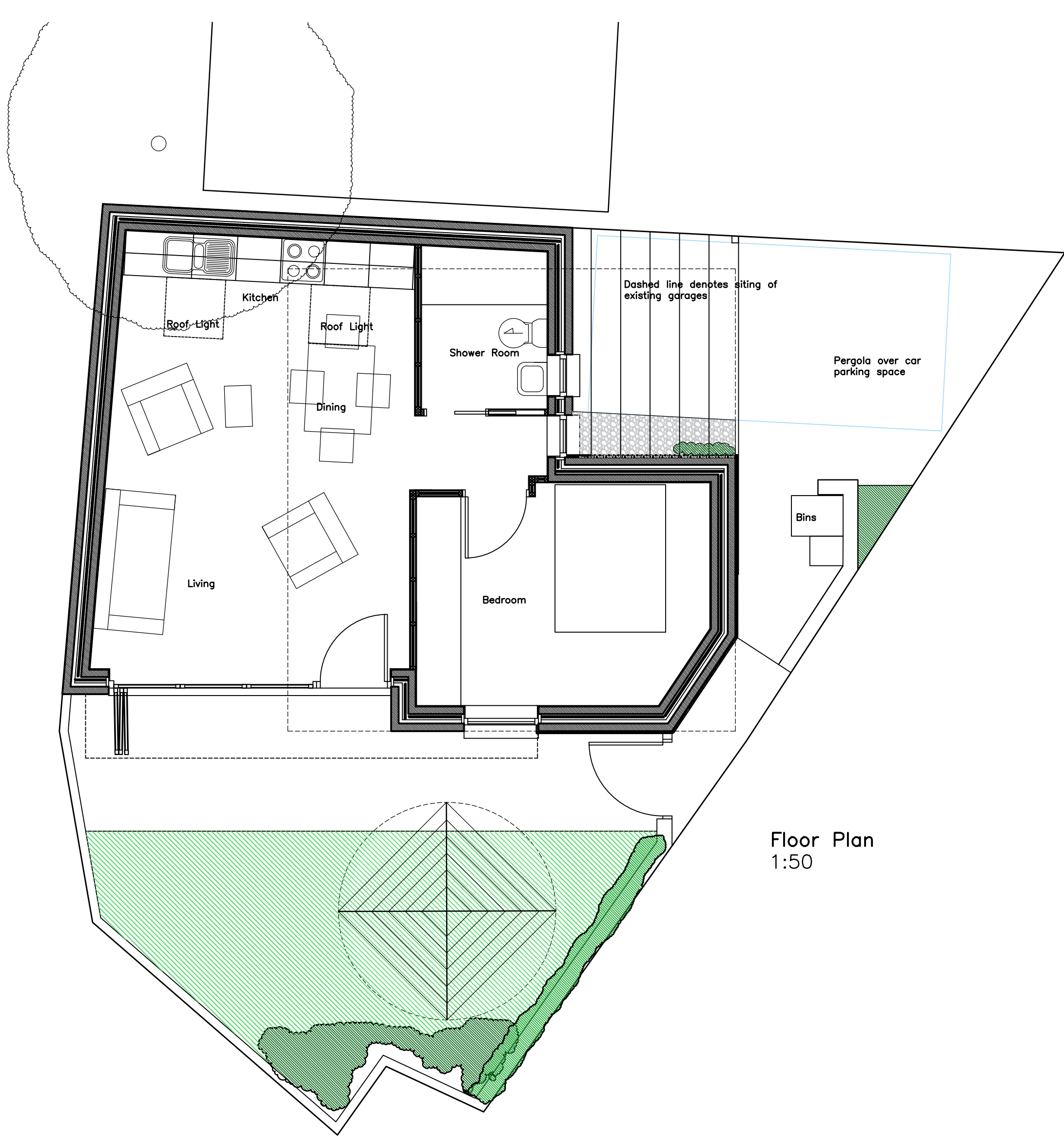


Site Location
1:500

Approximate location of proposed
Application Site



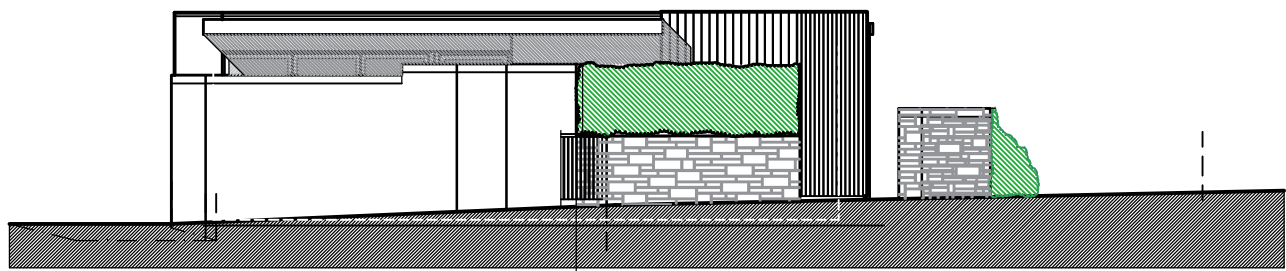
Site Plan
1:100



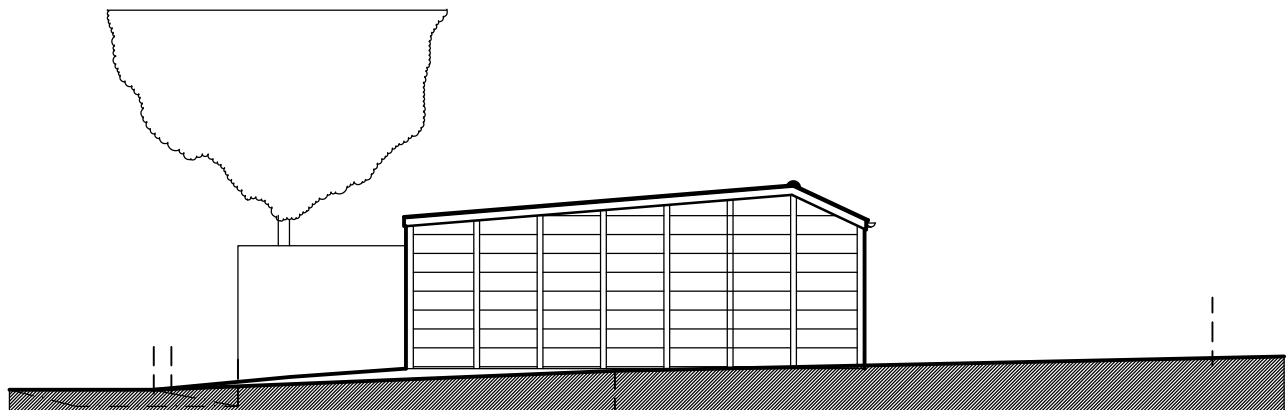
Floor Plan
1:50



Proposed South East Elevation to Garden
1:100



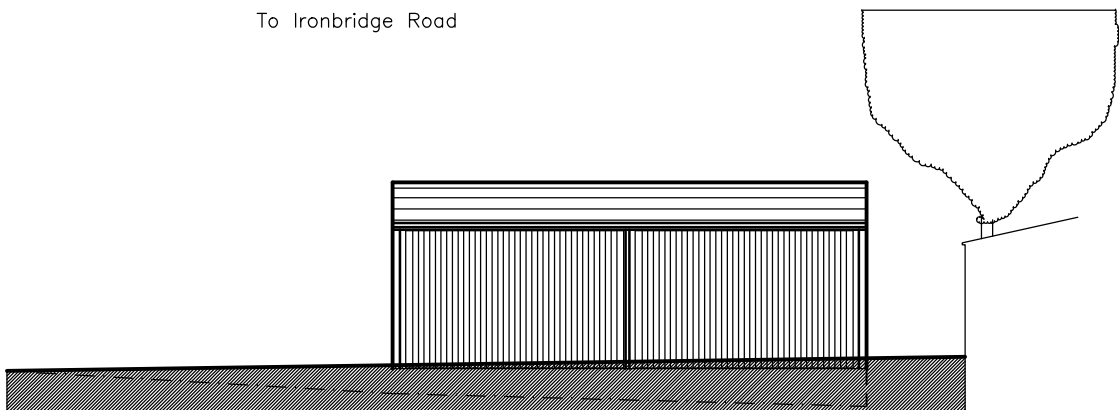
Proposed South East Elevation
1:100



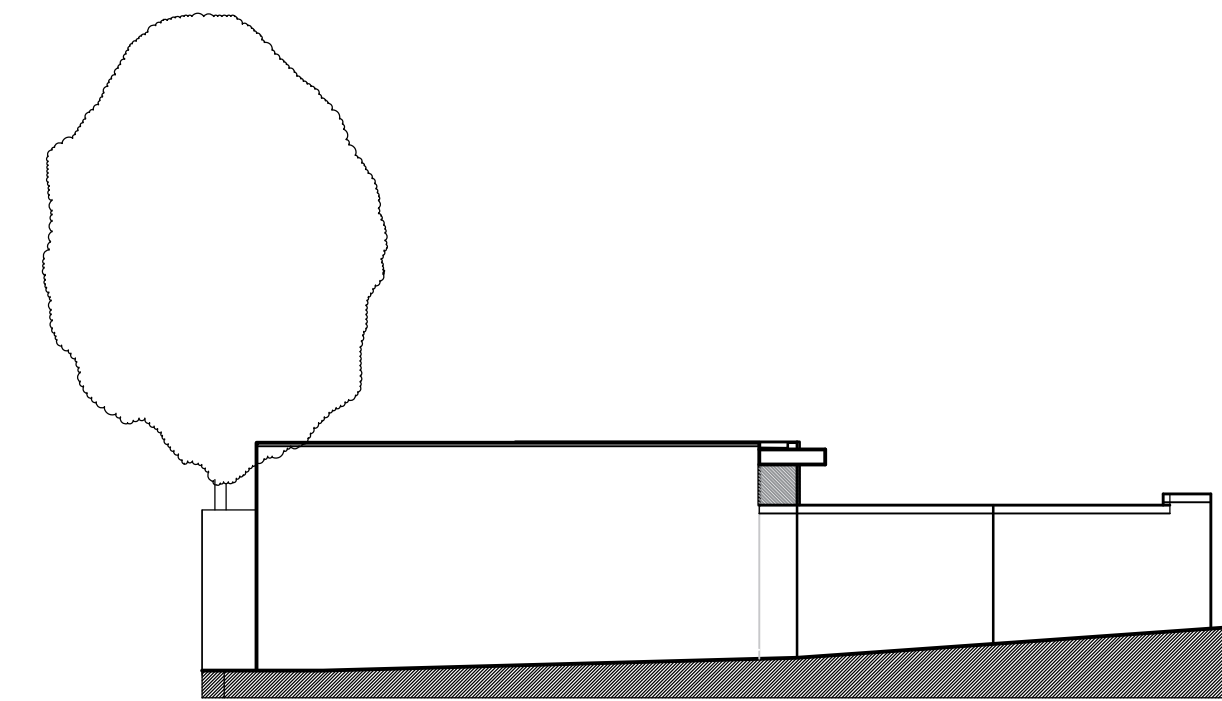
Existing South East Elevation
1:100



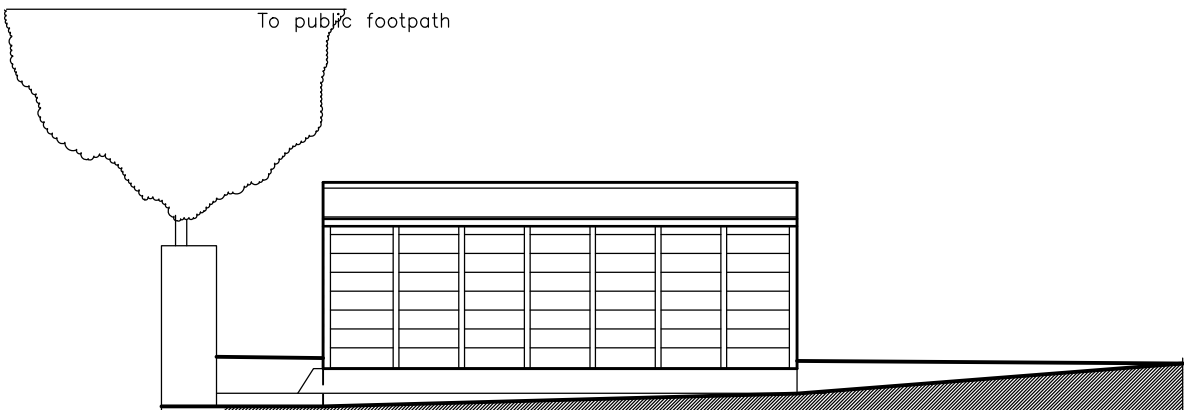
Proposed North East Elevation
1:100
To Ironbridge Road



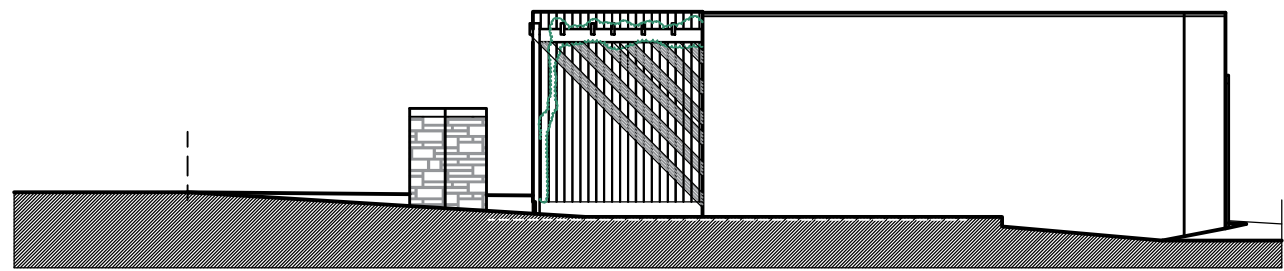
Existing North East Elevation
1:100
To Ironbridge Road



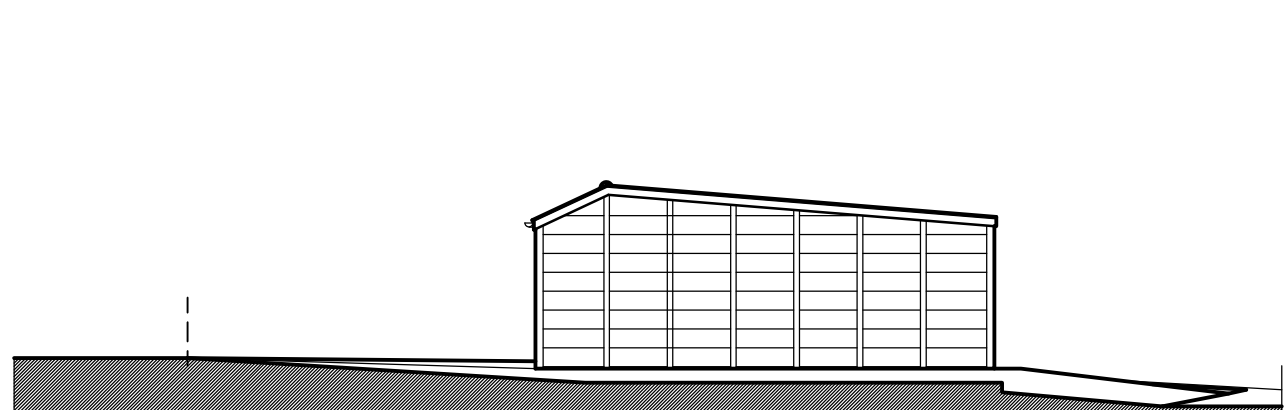
Proposed South West Elevation
1:100
To public footpath



Existing South West Elevation
1:100
To public footpath



Proposed North West Elevation
1:100



Existing North West Elevation
1:100

Revisions:
Rev Date: Revision:
a 03/17 Pergola reduced, boundary treatments altered

Chk:

Project:

Garages Plot Ironbridge Road
Adjoining No 14

Title:

Proposed and Existing

@rchitecture

32 Castell Coch View
Tongwynlais Cardiff CF15 7LA
02920520800
design@architecture.co.uk

5234 02 a MJP 02/2017 1 1 50 100



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Applications decided by Delegated Powers between 01/05/2017 and 31/05/2017

Total Count of Applications: 262

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
SC/17/00001/MJR18/04/2017		Rightacres Property Co Ltd	REQUEST FOR SCREENING OPINION TO CONFIRM REQUIREMENT FOR EIA IN RESPECT OF PROPOSED DEVELOPMENT OF OFFICES AND ANCILLARY RETAIL/ CAFE USE AT GROUND LEVEL.	LAND NORTH OF WOOD STREET, (CENTRAL SQUARE PLOTS 6 (IN PART), 7 AND 8)	16	True	Response Sent	04/05/2017

ADAM

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00911/MJR	25/04/2017	McLaren PMG Cardiff Ltd	DISCHARGE OF CONDITION 14 (TRAVEL MANAGEMENT PLAN) OF 15/02257/MJR	FITZALAN COURT, NEWPORT ROAD, ADAMSDOWN	23	True	Full Discharge of Condition	18/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00493/MNR	06/03/2017	Pinn	CREATION OF 3 BEDROOM FLAT IN BASEMENT	ADAMSDOWN CHURCH, ADAMSDOWN SQUARE, ADAMSDOWN	73	False	Permission be granted	18/05/2017
17/00970/MNR	03/05/2017	Klump Investments Ltd C/O Castleforge Partners	VARIATION OF CONDITION 2 (APPROVED PLANS) OF PLANNING CONSENT 16/02558/MNR GRANTED ON 28TH NOVEMBER 2016 TO ALLOW THE REPLACEMENT OF PLANS	BRUNEL HOUSE, 2 FITZALAN ROAD, ADAMSDOWN, CARDIFF, CF24 0EB	7	True	Permission be granted	10/05/2017

17/00728/MNR	04/04/2017	United Welsh Housing Association	CHANGE OF USE FROM VACANT SHOP (USE CLASS A1) TO RESIDENTIAL USE FOR ONE FLAT (USE CLASS C3) AND EXTERNAL ALTERATIONS	SHOP AT ADAMS COURT, NORTH LUTON PLACE, ADAMSDOWN, CARDIFF, CF24 0NA	29	True	Permission be granted	03/05/2017
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BUTE

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00563/MJR	21/03/2017	Cardiff Community Housing Association	DISCHARGE OF CONDITIONS 3 (MATERIALS) AND 5 (SITE ENCLOSURES/BOUNDARIES) OF 15/02597/MJR	LAND OFF SCHOONER WAY, ATLANTIC WHARF	64	False	Full Discharge of Condition	24/05/2017
17/00825/MJR	13/04/2017	Cardiff Community Housing Association	DEMOLITION OF PREMISES APPROVED UNDER 16/00194/MJR WITHOUT COMPLYING WITH PRE-COMMENCEMENT CONDITIONS	FORMER BRANDON HIRE PLC, 151-153 BUTE STREET, BUTETOWN, CARDIFF, CF10 5HQ	20	True	Permission be granted	03/05/2017
17/00893/MJR	24/04/2017	Aviva Life & Pensions UK Ltd	ALTERATION OF HOTEL STRUCTURE FROM CONCRETE TO STEEL, INCREASE IN HEIGHT AND RE-WORKING OF BRICK DETAIL PATTERN PREVIOUSLY APPROVED UNDER 16/00547/MJR	PLOT 5, PIERHEAD STREET, CARDIFF BAY	10	True	Permission be granted	04/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00961/MNR	28/04/2017	KHAN	ADDITIONAL DOUBLE DOORS TO FRONT ELEVATION AT FLAT 5 FOR DISABLED ACCESS - ALTERATIONS TO 14/01182/DCI.	HODGES SQUARE, BUTETOWN, CARDIFF, CF10 5JT	7	True	Permission be granted	05/05/2017

A/17/00056/MNR	20/04/2017	Signature Living	APPLICATION FOR CONSENT TO DISPLAY FASCIA SIGNAGE ASSOCIATED WITH THE HOTEL USE	THE COAL EXCHANGE LIMITED, THE COAL EXCHANGE, MOUNT STUART SQUARE, BUTETOWN, CARDIFF, CF10 5EB	34	True	Permission be granted	24/05/2017
17/00732/MNR	18/04/2017	Yassin	PORTAKABIN TO BE USED AS A BOOKSHOP IN RELATION TO THE MOSQUE	NOOR UL-ISLAM MOSQUE & COMMUNITY CENTRE, 17 MARIA STREET, BUTETOWN, CARDIFF, CF10 5HH	27	True	Permission be granted	15/05/2017
17/00794/MNR	11/04/2017	Schroder UK Real Estate Investment Management	CHANGE OF USE FROM VACANT CLASS A1 (SHOP) TO CLASS A3 (FOOD AND DRINK)	UNIT 20, MERMAID QUAY, BUTE STREET, BUTETOWN, CARDIFF, CF10 5BZ	27	True	Permission be granted	08/05/2017
17/00784/MNR	11/04/2017	Bellavista Care (Cardiff) Ltd	REMOVAL OF CONDITION 4 OF 95/00567/R TO ALLOW INTERNAL ALTERATIONS TO FIRST, SECOND AND LOFT FLOORS TO PROVIDE NINE ADDITIONAL CARE HOME BEDROOM FACILITIES INCLUDING IN FORMER COMMUNAL LOUNGE AREAS	BELLAVISTA CARE CENTRE, 2 HARROWBY PLACE, BUTETOWN, CARDIFF, CF10 5GB	30	True	Permission be granted	11/05/2017

CAER

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00572/DCH	20/03/2017	Upton	TWO STOREY SIDE EXTENSION CONTAINING GARAGE AT GROUND FLOOR	12 CAERAU PARK ROAD, CAERAU, CARDIFF, CF5 5JG	46	True	Permission be granted	05/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>

16/00321/MJR	15/02/2016	jehu Project Services Ltd	DISCHARGE OF CONDITIONS 9 (REMEDIATION SCHEME), 11 (TOPSOIL) AND 12 (AGGREGATES) OF 13/01275/DCO	FORMER ELY FARM, DYFRIG ROAD, CAERAU, CARDIFF, CF5 5AD	455	False	Full Discharge of Condition	15/05/2017
CANT								
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00347/DCH	23/02/2017	Thomas	TWO STOREY EXTENSION TO REAR AND SIDE OF PROPERTY. NEW ROOF INCLUDING DORMER ATTIC SPACE. RAISING RIDGE HEIGHT. SINGLE STOREY EXTENSION AND CHIMNEY	29 BROADHAVEN, CANTON, CARDIFF, CF11 8DA	88	False	Permission be granted	22/05/2017
17/00441/DCH	16/03/2017	Parsons	REMOVAL OF EXISTING LEAN TO AND ERECTION OF NEW PITCHED ROOF EXTENSION WITH 2NO ROOF LIGHTS, DOUBLE GLAZED WIDOWS AND DOOR PROVIDING ACCESS TO REAR GARDEN. SVP TO BE RELOCATED AND NEW RAINWATER GOODS	56 FAIRFIELD AVENUE, CANTON, CARDIFF, CF5 1BS	48	True	Permission be granted	03/05/2017
17/00768/DCH	13/04/2017	Gooch	CONSTRUCTION OR A REAR DORMER ROOF EXTENSION AND INSERTION OF ROOFLIGHTS TO THE FRONT ELEVATION	34 BROAD STREET, CANTON, CARDIFF, CF11 8BY	36	True	Permission be granted	19/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
16/02658/MJR	04/11/2016	Ely Bridge Development Company Ltd	DISCHARGE OF CONDITIONS 23 (ROAD TRAFFIC NOISE), 24 (RAILWAY NOISE) AND 25 (VIBRATION) OF 14/02277/MNR	FORMER PAPER MILL ARJO WIGGINS, OLD MILL BUSINESS PARK, SANATORIUM ROAD, CANTON, CARDIFF, CF11 8DS	180	False	Full Discharge of Condition	03/05/2017

16/02835/MJR	29/11/2016	Ely Bridge Development Company	DISCHARGE OF CONDITIONS 12 AND 13 (PHASING PLAN FOR THE CONSTRUCTION OF THE ROADS, FOOTPATHS AND OTHER PUBLICLY ACCESSIBLE AREAS) OF 14/02277/MNR	FORMER PAPER MILL ARJO WIGGINS, OLD MILL BUSINESS PARK, SANATORIUM ROAD, CANTON, CARDIFF, CF11 8DS	155	False	Full Discharge of Condition	03/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
A/17/00057/MNR	04/04/2017	Kirby	SHOP FRONT SIGN	LUSH HAIR & BEAUTY, 45 LLANDAFF ROAD, CANTON, CARDIFF, CF11 9NG	52	True	Permission be granted	26/05/2017
A/17/00051/MNR	21/03/2017	Notemachine UK Ltd	INTEGRAL ILLUMINATION AND SCREEN TO THE ATM FASCIA INTERNALLY ILLUMINATED FREE CASH WITHDRAWALS SIGN ABOVE THE ATM FASCIA BLUE LED HALO ILLUMINATION TO THE ATM SURROUND	CARDIFF CITY STADIUM, LECKWITH ROAD, CANTON, CARDIFF, CF11 8AZ	45	True	Permission be granted	05/05/2017
17/00600/MNR	21/03/2017	Notemachine UK Ltd	INSTALLATION OF AN ATM THROUGH THE WALL ON THE SIDE OF THE BUILDING OPPOSITE THE NEW PUB AND CAR PARK.	CARDIFF CITY STADIUM, LECKWITH ROAD, CANTON, CARDIFF, CF11 8AZ	44	True	Permission be granted	04/05/2017
A/17/00037/MNR	07/03/2017	McDonald's Restaurants Ltd	INSTALLATION OF A 2 NO. NEW YELLOW "GOLDEN ARCH" SYMBOLS OVER DRIVE THRU BOOTHS. THE RELOCATION OF THE HERO BOARD, PREVIOUSLY APPROVED UNDER A/16/00228/MNR. ADDITIONAL BANNER SIGN	MCDONALDS, CAPITAL RETAIL PARK, LECKWITH ROAD, CANTON, CARDIFF, CF11 8EG	56	True	Permission be granted	02/05/2017
17/00108/MNR	19/01/2017	McQuade	GROUND & FIRST FLOOR REAR/SIDE EXTENSION, HIP TO GABLE, REAR DORMER AND CONVERSION TO FOUR FLATS	47 LINCOLN STREET, CANTON, CARDIFF, CF5 1JX	119	False	Permission be granted	18/05/2017

17/00392/MNR	28/02/2017	Paton	CONVERSION AND CHANGE OF USE OF VACANT PUBLIC TOILET BLOCK TO CAFE, INCLUDING: - REPLACEMENT WINDOWS AND DOORS; CLOSING UP OF SOME DOOR OPENINGS TO REAR ELEVATION - NEW WINDOW OPENINGS TO COWBRIDGE ROAD EAST - NEW LIGHTING AND SIGNAGE - INTERNAL REMODELLING	FORMER VICTORIA PARK PUBLIC CONVENIENCE, VICTORIA PARK, COWBRIDGE ROAD EAST, CANTON	76	False	Permission be granted	15/05/2017
17/00740/MNR	04/04/2017	Kirby	ALTERATIONS TO SHOP FRONT	LUSH HAIR & BEAUTY, 45 LLANDAFF ROAD, CANTON, CARDIFF, CF11 9NG	43	True	Permission be granted	17/05/2017
17/00884/MNR	25/04/2017	The Clinic Canton	CHANGE THE USE FROM A SHOP TO HEALTH CLINIC	220 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1GY	36	True	Permission be granted	31/05/2017
17/01134/MNR	17/05/2017	Charity Kagyu Samye Dzong Cardiff Trust	AMENDMENTS TO RESIDENTIAL FLATS ON FIRST AND SECOND FLOOR OF 17/00232/MNR	MORGAN FINANCIAL GROUP LTD MORGAN HOUSE, 248 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1GZ	14	True	Permission be granted	31/05/2017
A/17/00077/MNR	10/05/2017	cardiff house of sport ltd	SIGNAGE TO BE PRINTED ON TO THE FABRIC OF AN AIRDOME	EXISTING PITCHES ADJACENT TO LAWRENNY AVENUE, CARDIFF	12	True	Permission be granted	22/05/2017
A/17/00035/MNR	18/04/2017	The Ultimate Poster Company	REPLACEMENT OF EXISTING '48 SHEET' ADVERTISEMENT HOARDING WITH A 6M LONG X 3.6M HIGH COLOUR DIGITAL LED ADVERTISEMENT PANEL.	ADJACENT TO UNIT 2, NINIAN PARK GARAGES, LECKWITH ROAD, CANTON, CARDIFF, CF11 8AP	29	True	Permission be granted	17/05/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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16/03073/DCH		Yapp	FIRST FLOOR EXTENSION TO EXISTING FLATS	41 RICHARDS STREET, CATHAYS, CARDIFF, CF24 4DB			Permission be granted	03/05/2017
17/00696/DCH	31/03/2017	Patel	LOFT CONVERSION WITH REAR DORMER	18 MAY STREET, CATHAYS, CARDIFF, CF24 4EW	46	True	Permission be granted	16/05/2017
17/00693/DCH	28/03/2017	Shankie	CONVERSION OF EXISTING ROOF SPACE TO HABITABLE ACCOMMODATION.	62 BRITHDIR STREET, CATHAYS, CARDIFF, CF24 4LF	43	True	Permission be granted	10/05/2017
17/00785/DCH	10/04/2017	Patel	FIRST FLOOR & SINGLE STOREY REAR EXTENSION	18 MAY STREET, CATHAYS, CARDIFF, CF24 4EW	39	True	Permission be granted	19/05/2017
17/00742/DCH	03/04/2017	Arthur	SINGLE STOREY PITCHED ROOF SIDE EXTENSION	GROUND FLOOR, 105 MONTHERMER ROAD, CATHAYS, CARDIFF, CF24 4QY	32	True	Permission be granted	05/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00704/MJR	28/03/2017	Sapphire QAC Holdings SENC	CHANGE OF USE OF EXISTING FLOORSACE (328SQM) IN LOWER GROUND FLOOR TO USE CLASS A3 'FOOD AND DRINK' TO PROVIDE FOOD COURT WITH CENTRAL SEATING AREA (620SQM), TOGETHER WITH THE PROVISION OF NEW CUSTOMER TOILETS AND ASSOCIATED WORKS	LOWER GROUND FLOOR, QUEENS ARCADE, CITY CENTRE	52	True	Permission be granted	19/05/2017
14/02880/MJR	09/12/2014	Fusion Students	DISCHARGE OF CONDITION 18 (CEMP): LOGISTICS PLANS AND CONSTRUCTION PHASE PLAN, CONDITION 19 (PUBLIC REALM): PUBLIC REALM PLAN, CONDITION 24, 25, 26, 27, 28 (BREEAM): BREEAM - STATEMENT OF COMPLIANCE OF 13/01050/DCI	WINDSOR HOUSE, WINDSOR LANE, CITY CENTRE, CARDIFF, CF10 3DE	875	False	Full Discharge of Condition	02/05/2017

16/02879/MJR	05/12/2016	Crown Student Living	DISCHARGE OF CONDITIONS 2 (SAMPLES OF EXTERNAL FINISHING MATERIALS), 3 (ARCHITECTURAL DETAILING), 11 (DRAINAGE), 15 (CONSTRUCTION MANAGEMENT SCHEME), 18 (LANDSCAPING), 20 (ARBORICULTURAL METHOD STATEMENT AND TREE PROTECTION PLAN) AND 21 (SITE ENCLOSURE) OF 14/03004/MJR	CARADOG HOUSE, 1-6 ST ANDREW'S PLACE, CATHAYS PARK, CARDIFF, CF10 3BE	170	False	Partial Discharge of Condition (s)	24/05/2017
17/00566/MJR	17/03/2017	Giles	DISCHARGE OF CONDITIONS 3 (ACOUSTIC REPORT), 5 (MATERIALS), 6 (ARCHITECTURAL DETAIL) AND 8 (MEANS OF ENCLOSURE) OF 14/01487/DCI	35-37 CHARLES STREET, CITY CENTRE, CARDIFF, CF10 2GB	47	True	Full Discharge of Condition	03/05/2017
17/00061/MJR	12/01/2017	Mitchells and Butlers Retail Limited	INTERNAL AND EXTERNAL ALTERATIONS	THE CORNER HOUSE, 25 CAROLINE STREET, CITY CENTRE, CARDIFF, CF10 1FF	111	False	Permission be granted	03/05/2017
17/01091/MJR	12/05/2017	Rightacres Property Company	DISCHARGE OF CONDITIONS 11 (SCHEME OF ENVIRONMENTAL HIGHWAY AND PUBLIC REALM), 13 (LANDSCAPING) AND 24 AND 25 (BREEAM) OF 15/00331/MJR	ONE CENTRAL SQUARE, CITY CENTRE, CARDIFF, CF10 1EN	6	True	Full Discharge of Condition	18/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
A/17/00054/MNR	22/03/2017	Costa Ltd	FASCIA LETTERING	CARDIFF UNIVERSITY, 49 PARK PLACE, CATHAYS PARK, CARDIFF, CF10 3AT	44	True	Permission be granted	05/05/2017

17/00254/MNR	15/03/2017	Aseeley	CONVERSION OF EXISTING FIVE BEDROOM DWELLING (C3) TO TWO FLATS (C3) INCLUDING DEMOLITION OF EXISTING PART TWO STOREY PART SINGLE STOREY ANNEXE AND CONSTRUCTION OF NEW EXTENDED PART TWO STOREY PART SINGLE STOREY ANNEXE WITH INSERTION OF DORMER LOFT ROOM TO THE REAR, ROOF LIGHTS TO THE FRONT AND INTERNAL ALTERATIONS	74 TEWKESBURY STREET, CATHAYS, CARDIFF, CF24 4QT	50	True	Permission be granted	04/05/2017
A/17/00052/MNR	17/03/2017	Modra Investments Ltd	SIGN TRAY OVER SHOP AND VINYLs APPLIED TO SHOP WINDOW AND DOOR	132 WOODVILLE ROAD, CATHAYS, CARDIFF, CF24 4EE	59	False	Permission be granted	15/05/2017
17/00801/MNR	11/04/2017	Malik	CERTIFICATE OF LAWFULNESS APPLICATION FOR AN EXISTING USE FOR A SUI GENERIS HOUSE IN MULTIPLE OCCUPATION	96 RHYMNEY STREET, CATHAYS, CARDIFF, CF24 4DG	44	True	Permission be granted	25/05/2017
17/00604/MNR	28/03/2017	Thompson	INSTALL TEMPORARY CAR PARK BARRIER ACROSS THE ENTRANCE TO THE CAR PARK FOR 2 YEARS TO PREVENT UNAUTHORISED PARKING DURING CONSTRUCTION OF THE CENTRE FOR STUDENT LIFE	CARDIFF UNIVERSITY, PARK PLACE, CATHAYS PARK	59	False	Permission be granted	26/05/2017
17/00639/MNR	31/03/2017	MBI Surveyors	CHANGE OF USE FROM A1 RETAIL TO A3 CAFES AND RESTAURANTS SPECIFIC USE TO BE LUNCHES AND DESSERTS AND NEW SHOPFRONT	3 QUEEN STREET, CITY CENTRE, CARDIFF, CF10 2AF	52	True	Permission be granted	22/05/2017
17/00286/MNR	09/02/2017	MALIK	CERTIFICATE OF LAWFULNESS FOR LARGE SUI GENERIS HOUSE IN MULTIPLE OCCUPATION	142 CATHAYS TERRACE, CATHAYS, CARDIFF, CF24 4HZ	102	False	Permission be granted	22/05/2017
16/02610/MNR	14/11/2016	Helical Plc	REDECORATION OF ELEVATION AND SHOPFRONTS. REFURBISHMENT AND REDECORATION OF WINDOWS. REFURBISHMENT OF ROOF, FASCIAS AND RAINWATER GOODS. REMOVAL OF HOOPED SIGN	HELICAL BAR PLC, 38-39 ST. MARY STREET (ROYAL ARCADE ENTRANCE FRONTAGE), CITY CENTRE, CARDIFF, CF10 1AE	191	False	Permission be granted	24/05/2017

17/00138/MNR	23/03/2017	Lawrence	RENEW OF PLANNING APPLICATION 12/00093/DCI - CONVERSION TO 2 FLATS WITH GROUND FLOOR EXTENSION & REAR DORMER	20 TEWKESBURY PLACE, CATHAYS, CARDIFF, CF24 4QU	40	True	Permission be granted	02/05/2017
17/00802/MNR	11/04/2017	Malik	CERTIFICATE OF LAWFULNESS APPLICATION FOR AN EXISTING USE FOR A SUI GENERIS HOUSE IN MULTIPLE OCCUPATION	41 HIRWAIN STREET, CATHAYS, CARDIFF, CF24 4JG	30	True	Permission be granted	11/05/2017
17/00803/MNR	11/04/2017	Malik	CERTIFICATE OF LAWFULNESS APPLICATION FOR AN EXISTING USE FOR A SUI GENERIS HOUSE IN MULTIPLE OCCUPATION	14 TREHERBERT STREET, CATHAYS, CARDIFF, CF24 4JN	30	True	Permission be granted	11/05/2017
17/00804/MNR	11/04/2017	Malik	CERTIFICATE OF LAWFULNESS APPLICATION FOR AN EXISTING USE FOR A SUI GENERIS HOUSE IN MULTIPLE OCCUPATION	25 MERTHYR STREET, CATHAYS, CARDIFF, CF24 4JL	30	True	Permission be granted	11/05/2017
17/00822/MNR	12/04/2017	Ask Italian / Azzurri Group	NEW FIXED PLANTERS / PANELS TO PERIMETER OF EXISTING EXTERNAL SEATING AREA - NEW TIMBER PERGOLA TO EXISTING EXTERNAL SEATING AREA - NEW FESTOON LIGHTING TO PROPOSED TIMBER PERGOLA - NEW HEATERS TO EXTERNAL SEATING AREA	OUTSIDE 24-32 WYNDHAM ARCADE, MILL LANE, CITY CENTRE, CARDIFF, CF10 1FJ	29	True	Permission be granted	11/05/2017
A/17/00063/MNR	12/04/2017	Ask Italian / Azzurri Group	ADVERT 1 - PAINTED LOGOS TO PROPOSED PERIMETER BARRIER TREATMENT (PLANTERS) ADVERT 2 - HANGING SIGNS TO PROPOSED PERGOLA STRUCTURE WITH PAINTED LOGO	OUTSIDE 24-32 WYNDHAM ARCADE, MILL LANE, CITY CENTRE, CARDIFF, CF10 1FJ	29	True	Permission be granted	11/05/2017
17/00766/MNR	07/04/2017	Infocus Public Networks Ltd	INSTALLATION OF AN ELECTRONIC COMMUNICATIONS APPARATUS	OUTSIDE W H SMITH, 83-85 QUEEN STREET, CITY CENTRE, CARDIFF	26	True	Prior Approval be granted	03/05/2017
A/17/00067/MNR	20/04/2017	Evans	LARGE FORMAT DIGITAL ADVERTISING SCREEN TO PROMOTE UEFA CHAMPIONS LEAGUE SPONSOR, WITH SCAFFOLDING WRAP AS BACKDROP	NATIONAL CAR PARKS LTD MULTI STOREY CAR PARK, QUAY STREET, CITY CENTRE, CARDIFF, CF10 1DZ	27	True	Permission be granted	17/05/2017
17/00800/MNR	11/04/2017	Sloman	DEMOLISH EXISTING GARAGE AND REPLACE WITH 1 BEDROOM SINGLE STOREY DWELLING	28 RHIGOS GARDENS, CATHAYS, CARDIFF, CF24 4LS	38	True	Planning Permission be refused	19/05/2017

A/17/00090/MNR	15/05/2017	Shoe Zone Retail Park	INSTALLATION OF NEW FASCIA SIGN	SHOE ZONE, 9 TOWN WALL SOUTH, CITY CENTRE, CARDIFF, CF10 2EW	11	True	Permission be granted	26/05/2017
17/00901/MNR	25/04/2017	MOSS BROS	NEW SHOPFRONT AND REAR MEZZANINE FLOOR	PLOT LG35, ST DAVID'S DEWI SANT, GRAND ARCADE, CITY CENTRE	31	True	Permission be granted	26/05/2017
A/17/00071/MNR	25/04/2017	MOSS BROS	NEW SIGNAGE	PLOT LG35, ST DAVID'S DEWI SANT, GRAND ARCADE, CITY CENTRE	31	True	Permission be granted	26/05/2017
A/17/00080/MNR	08/05/2017	Bluewood investment ltd	HOARDING APPLY FRONT OF BUILDING	RED HOT WORLD BUFFET AND BAR, 3-6 ST DAVIDS DEWI SANT, HILL'S STREET, CITY CENTRE, CARDIFF, CF10 2LE	18	True	Permission be granted	26/05/2017
17/00821/MNR	20/04/2017	Abercrombie and Fitch	INSTALLATION OF A NEW HOLLISTER SHOPFRONT	HOLLISTERS, 74-76 ST DAVID'S DEWI SANT, GRAND ARCADE, CITY CENTRE, CARDIFF, CF10 2EL	29	True	Permission be granted	19/05/2017
A/17/00062/MNR	25/04/2017	Abercrombie & Fitch	ILLUMINATED 'HOLLISTER' FASCIA SIGN ABOVE THE STORE ENTRANCE	HOLLISTERS, 74-76 ST DAVID'S DEWI SANT, GRAND ARCADE, CITY CENTRE, CARDIFF, CF10 2EL	24	True	Permission be granted	19/05/2017
A/17/00069/MNR	24/04/2017	Spin Restaurants Wales Ltd	INSTALLATION OF VERTICAL SIGN BEHIND GLAZING AND PROJECTING SIGN TO FRONT ELEVATION AND FASCIA SIGN TO REAR ELEVATION	CARDIFF UNIVERSITY, 49 PARK PLACE, CATHAYS PARK, CARDIFF, CF10 3AT	25	True	Permission be granted	19/05/2017
A/17/00073/MNR	26/04/2017	HSBC Corporate Real Estate	REPLACEMENT OF THE EXTERNAL SIGNAGE TO COMPLY WITH THE NATIONWIDE REBRAND TO 'HSBC UK'. CONSISTING OF; 2NO NON ILLUMINATED FASCIA SIGNS 1NO EXTERNALLY ILLUMINATED HANGING SIGN VARIOUS OTHER NON ILLUMINATED SIGNAGE.	HSBC, 56 QUEEN STREET, CITY CENTRE, CARDIFF, CF10 2PX	29	True	Permission be granted	25/05/2017

A/17/00061/MNR	11/04/2017	BT Facilities Services	MESH BANNER FIXED INTO A TENSION FRAME, MOUNTED TO THE NORTH ELEVATION OF THE APPLICATION SITE BUILDING. IMAGE TO BE PROJECTED ONTO THE BANNER.	BT, STADIUM HOUSE, PARK STREET, CITY CENTRE, CARDIFF, CF10 1NT	24	True	Permission be granted	05/05/2017
17/00638/MNR	05/04/2017	MYA Cosmetic Surgery Limited	CHANGE OF USE FROM CLASS B1 (OFFICE) TO CLASS D1 (COSMETIC SURGERY)	FIRST FLOOR, 18 WINDSOR PLACE, CITY CENTRE, CARDIFF, CF10 3BY	33	True	Permission be granted	08/05/2017
17/00770/MNR	10/04/2017	Toms	THE CONVERSION OF A SINGLE DWELLING INTO TWO FLATS WITH SEPARATE ENTRANCES. THE DEVELOPMENT IS TO INCLUDE A SMALL TWO STOREY EXTENSION.	23 FLORA STREET, CATHAYS, CARDIFF, CF24 4EQ	28	True	Permission be granted	08/05/2017
A/17/00091/MNR	23/05/2017	National Museum Wales	SCULPTURED CLAWS SITTING OVER FRONT PARAPET	NATIONAL MUSEUM & GALLERY OF WALES, GORSEDD GARDENS ROAD, CATHAYS PARK, CARDIFF, CF10 3NP	0	True	Permission be granted	23/05/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00216/DCH	01/02/2017	Dormer	MOVE DRIVEWAY 3M SOUTH FROM PREVIOUS APPROVAL 15/03111/DCO DEMOLISH EXISTING LEAN-TO AND BUILD NEW 2 STOREY EXTENSION TO WEST END BUILD NEW SINGLE STOREY EXTENSION TO FRONT	CAPEL HOUSE, HEOL ST Y NYLL, CAPEL LLANILLTERN, CARDIFF, CF5 6HF	119	False	Permission be granted	31/05/2017
17/00590/DCH	16/03/2017	Leach	PROPOSED REAR FLAT ROOF DORMER TO EXTEND EXISTING LOFT CONVERSION	5 THE TERRACE, CREIGIAU, CARDIFF, CF15 9NG	54	True	Permission be granted	09/05/2017
17/00645/DCH	23/03/2017	Landon	LEAN TO ROOF PORCH TO FRONT AND AN EDWARDIAN ROOF CONSERVATORY TO REAR OF DWELLING	10 CASTLE CLOSE, CREIGIAU, CARDIFF, CF15 9NJ	41	True	Permission be granted	03/05/2017

17/01156/DCH	18/05/2017	Williams	SINGLE STOREY EXTENSION. FENCING PANEL TO SIDE ELEVATION (CAR PORT) REPLACED WITH FACING BRICK WALL (EXISTING CAR PORT ROOF TO REMAIN)	7 TREGARTH COURT, CREIGIAU, CARDIFF, CF15 9SY	6	True	Permission be granted	24/05/2017
17/00679/DCH	05/04/2017	King	DISCHARGE OF CONDITION 2 (ARCHAEOLOGICAL SCHEME) OF 15/01133/DCH	THE COTTAGE, CROFFT-Y-GENAU ROAD, ST FAGANS, CARDIFF, CF5 6DU	34	True	Full Discharge of Condition	09/05/2017
17/01060/DCH	10/05/2017	Oakes	ALTERATIONS TO 09/01167/W - CHANGE THE EXTERNAL APPEARANCE OF THE SINGLE STOREY REAR EXTENSION FROM BRICK TO ACRYLIC RENDER	1 LLYS TEILO, CREIGIAU, CARDIFF, CF15 9DS	6	True	Permission be granted	16/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/01162/MJR	19/05/2017	Mr Daniel Ball	AMENDMENTS TO PAVEMENT OF 15/02607/MJR	GREAT HOUSE FARM, MICHAELSTON ROAD, ST FAGANS, CARDIFF, CF5 6DU	5	True	Permission be granted	24/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00528/MNR	27/03/2017	Bishop	CHANGE OF USE TO INCORPORATE A PARCEL OF LAND APPROX SIZE 43MX15M IN THE GARDEN OF 1 CHARLOTTE DRIVE	1 QUEEN CHARLOTTE DRIVE, CREIGIAU, CARDIFF, CF15 9NY	53	True	Permission be granted	19/05/2017
16/02315/MNR	29/09/2016	JRS Homes Ltd	NEW DWELLING (SUBSTITUTION OF PLOT 8, PREVIOUSLY APPROVED UNDER 14/02360), AND ASSOCIATED WORKS	LAND AT CARDIFF ROAD, CREIGIAU, CARDIFF	229	False	Permission be granted	16/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00739/DCH	05/04/2017	Young	NEW SINGLE STOREY REAR EXTENSION	14 BEATTY AVENUE, ROATH PARK, CARDIFF, CF23 5QT	41	True	Permission be granted	16/05/2017
17/00580/DCH	16/03/2017	Poontaub	ALTERATIONS TO 16/02355/DCH - CHANGE OF ROOF MATERIAL FROM CONCRETE TILES TO MAN MADE SLATE. NOTE THIS WILL APPLY TO NEW AND EXISTING	25 LLANDENNIS ROAD, CYNCOED, CARDIFF, CF23 6EE	49	True	Permission be granted	04/05/2017
16/01502/DCH	20/06/2016	Rafiq	TWO STOREY REAR EXTENSION WITH JULIET BALCONY AND DORMER ROOF EXTENSIONS TO SIDES AND SINGLE STOREY REAR EXTENSION WITH STAIR ACCESS TO REAR GARDEN WITH TERRACING AND LANDSCAPING/LEVEL ALTERATIONS TO THE GARDEN	52 HOLLYBUSH ROAD, CYNCOED, CARDIFF, CF23 6TA	317	False	Permission be granted	03/05/2017
17/00602/DCH	28/03/2017	Caryl	HIP TO GABLE LOFT CONVERSION WITH ADDITION OF REAR PITCHED ROOF DORMER TO CREATE ADDITIONAL BEDROOM WITH EN-SUITE.	24 DAN-YR-HEOL, CYNCOED, CARDIFF, CF23 6JU	52	True	Permission be granted	19/05/2017
17/00485/DCH	03/03/2017	Smolinski	GROUND FLOOR REAR EXTENSION, FIRST FLOOR REAR EXTENSION, HIP-TO-GABLE SIDE ROOF EXTENSIONS, DORMER WINDOWS TO FRONT AND REAR, JULIET BALCONY TO REAR. ALTERATIONS TO GARAGE TO FORM GUEST ROOM. TAKE DOWN FRONT BOUNDARY WALL	21 RHYD Y PENAU ROAD, CYNCOED, CARDIFF, CF23 6PX	77	False	Permission be granted	19/05/2017
17/00640/DCH	22/03/2017	Lewis	TWO STOREY FRONT & SIDE EXTENSION & RAISING RIDGE	33 LLYSWEN ROAD, CYNCOED, CARDIFF, CF23 6NH	56	True	Planning Permission be refused	17/05/2017
17/00745/DCH	06/04/2017	Bird	SINGLE STOREY EXTENSION TO GARDEN WORK SHOP	27 THE FAIRWAY, CYNCOED, CARDIFF, CF23 6RF	33	True	Permission be granted	09/05/2017

17/00601/DCH	28/03/2017	Aitkenhead	SINGLE STOREY SIDE/REAR EXTENSION, WIDENING OF EXISTING REAR DORMER AND ERECTION OF SHED/OUTBUILDING TO REAR OF GARDEN	17 CARNEGIE DRIVE, LAKESIDE, CARDIFF, CF23 6DH	38	True	Permission be granted	05/05/2017
17/00724/DCH	05/04/2017	Ashi	RETROSPECTIVE PLANNING PERMISSION FOR SINGLE STOREY REAR EXTENSION	105 RHYD Y PENAU ROAD, CYNCOED, CARDIFF, CF23 6PZ	33	True	Permission be granted	08/05/2017

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17/00512/MNR	20/03/2017	Mr Russell Moore	PARTIAL DEMOLITION OF EXISTING BUILDING & REFURBISHMENT OF REMAINING CLUB PREMISES AND CONSTRUCTION OF NEW FRONT ELEVATION EXTERNAL WALL	22 COWBRIDGE ROAD WEST, ELY, CARDIFF, CF5 5BS	46	True	Permission be granted	05/05/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00688/DCH	28/03/2017	Franklin	THE PROPOSAL IS FOR A SINGLE STOREY SIDE EXTENSION. EXISTING DRIVEWAY TO BE DUG UP AND NEW RETAINING STRUCTURE ALONG WESTERN BOUNDARY BETWEEN DRIVEWAYS TO BE ERECTED.	39 BEECHLEY DRIVE, PENTREBANE, CARDIFF, CF5 3SG	50	True	Permission be granted	17/05/2017
17/00685/DCH	29/03/2017	Thompson	PROPOSED CONSTRUCTION OF PORCH TO FRONT OF THE HOUSE AND SINGLE STOREY EXTENSION TO THE REAR	59 WROUGHTON PLACE, FAIRWATER, CARDIFF, CF5 4AB	37	True	Permission be granted	05/05/2017

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17/00135/DCH	23/01/2017	Coray Developments	SINGLE STOREY REAR EXTENSION	6 CANADA ROAD, GABALFA, CARDIFF, CF14 3BW	127	False	Permission be granted	30/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00613/MNR	23/03/2017	Souto	DEMOLITION OF EXISTING GARAGES AND CONSTRUCTION OF ONE BEDROOM DWELLING	13 HEATHFIELD ROAD, GABALFA, CARDIFF, CF14 3JX	43	True	Planning Permission be refused	05/05/2017
17/00401/MNR	20/03/2017	Butcher	A NEW STORAGE UNIT AND GARAGE.	REAR OF 35 QUENTIN STREET, GABALFA, CARDIFF, CF14 3JW	60	False	Permission be granted	19/05/2017
17/00654/MNR	22/03/2017	Ahmed	CONVERSION OF FIRST AND SECOND FLOORS TO 4 FLATS WITH ALTERATIONS TO ROOF AND REAR DORMER PLUS FRONT ROOF-LIGHTS	45-47 WHITCHURCH ROAD, GABALFA, CARDIFF, CF14 3JP	56	True	Permission be granted	17/05/2017
17/00151/MNR	24/01/2017	Ahmed 2005 family settlement	CONVERSION OF GROUND FLOOR SHOP TO A3 RESTAURANT	45 WHITCHURCH ROAD, GABALFA, CARDIFF, CF14 3JP	98	False	Permission be granted	02/05/2017
17/00511/MNR	07/03/2017	RAYSON	REMOVAL OF CONDITION 8 AND VARIATION OF CONDITION 6 OF 96/01338/W TO ALLOW THE PROVISION OF A MANUALLY OPERATED VEHICLE BARRIER TO ALLOW ONE WAY ACCESS FROM WESTERN TO EASTERN SITE PARKING AREAS FOR AUTHORISED PERSONS ONLY (0800 TO 1800 HOURS ONLY)	ALL NATIONS CENTRE, SACHVILLE AVENUE, GABALFA, CARDIFF, CF14 3NY	56	True	Permission be granted	02/05/2017

17/00927/MNR	04/05/2017	Bowler-Brown	REMOVAL OF CONDITIONS 6 AND 7 OF 17/00348/MNR RELATING TO FUME EXTRACTION AND ASSOCIATED NOISE AS ONLY SANDWICHES WILL BE PREPARED ON SITE	PRIORY HOUSE, MERIDIAN COURT, NORTH ROAD, GABALFA, CARDIFF, CF14 3BE	26	True	Permission be granted	30/05/2017
17/00759/MNR	12/04/2017	Bull	CHANGE OF USE OF THE UPSTAIRS FROM RESIDENTIAL TO D2 (YOGA STUDIO)	112 WHITCHURCH ROAD, GABALFA, CARDIFF, CF14 3LY	40	True	Permission be granted	22/05/2017
17/00832/MNR	13/04/2017	Bahardwj	RETENTION OF EXISTING COFFEE SHOP/CAFE	138 WHITCHURCH ROAD, GABALFA, CARDIFF, CF14 3LZ	35	True	Permission be granted	18/05/2017
17/00428/MNR	04/04/2017	El-Sayed	GROUND & FIRST FLOOR REAR EXTENSION, HIP TO GABLE & REAR DORMER EXTENSION AND CONVERSION TO FOUR FLATS	18 PARKFIELD PLACE, MAINDY, CARDIFF, CF14 3AR	31	True	Permission be granted	05/05/2017
17/00729/MNR	31/03/2017	Sturgess	CHANGE OF USE CLASS FROM C4 6 BED HOUSE IN MULTIPLE OCCUPATION TO 7 BED SUI GENERIS HOUSE IN MULTIPLE OCCUPATION	168 NORTH ROAD, GABALFA, CARDIFF, CF14 3BJ	32	True	Permission be granted	02/05/2017

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17/00656/DCH	22/03/2017	Yamia	TWO STOREY SIDE EXTENSION	44 BESSBOROUGH DRIVE, GRANGETOWN, CARDIFF, CF11 8NE	49	True	Permission be granted	10/05/2017
17/00872/DCH	19/04/2017	Ali	FIRST FLOOR REAR EXTENSION	34 CORPORATION ROAD, GRANGETOWN, CARDIFF, CF11 7AU	37	True	Permission be granted	26/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>

16/02932/MNR	05/01/2017	Prothero	CONVERSION OF COACH HOUSE INTO ONE BED DWELLING	REAR OF 55, CORPORATION ROAD, GRANGETOWN, CARDIFF, CF11 7AP	137	False	Permission be granted	22/05/2017
15/01338/MNR	06/07/2015	Patel	CONVERSION OF EXISTING GARAGE/COACH HOUSE TO DWELLING	81 CORNWALL STREET, GRANGETOWN, CARDIFF, CF11 6PP	686	False	Permission be granted	22/05/2017
A/17/00055/MNR	04/04/2017	Papa John's	NEW SIGNS	UNIT 3, DUNLEAVY DRIVE, GRANGETOWN, CARDIFF, CF11 0SR	51	True	Permission be granted	25/05/2017
17/00581/MNR	22/03/2017	City of Cardiff Council	CREATION OF 4 DOUBLE WINDOWS (1800X2100MM) ON THE SOUTH EAST ELEVATION. THE NEW WINDOWS WILL FACE THE RIVER TAFF IN JIM DRISCOLL WAY	CHANNEL VIEW LEISURE CENTRE, JIM DRISCOLL WAY, GRANGETOWN, CARDIFF, CF11 7HB	56	True	Permission be granted	17/05/2017
A/17/00044/MNR	10/03/2017	Jump Arena	CONSENT TO INSTALL INTERNALLY ILLUMINATED SIGN	UNIT B, GLYNSTELL PARK, GLYNSTELL CLOSE, LECKWITH, CARDIFF, CF11 8EY	56	True	Permission be granted	05/05/2017
16/03006/MNR	05/01/2017	Prothero	CONVERSION OF HOUSE INTO FOUR FLATS	44 BLAENCLYDACH STREET, GRANGETOWN, CARDIFF, CF11 7BD	120	False	Permission be granted	05/05/2017
17/00850/MNR	20/04/2017	Iceland Foods Ltd	CONSTRUCTION OF PLANT CAGE/COMPOUND AND INSTALLATION OF AIR CONDITIONING/REFRIGERATION PLANT THERETO TOGETHER WITH THE CONSTRUCTION OF A BINS STORE	PART UNITS G AND H, CARDIFF BAY RETAIL PARK, FERRY ROAD, GRANGETOWN, CARDIFF, CF11 0JR	29	True	Permission be granted	19/05/2017
A/17/00065/MNR	19/04/2017	One Stop Stores	NEW SIGNAGE	ONE STOP, 52 CLARE ROAD, GRANGETOWN, CARDIFF, CF11 6RS	27	True	Permission be granted	16/05/2017
17/01088/MNR	12/05/2017	Egeh	REVISED LAYOUT TO CREATE A TWO STOREY FLAT (FLAT 1) - PREVIOUSLY APPROVED UNDER 16/02163/MNR	2 PAGET STREET, GRANGETOWN, CARDIFF, CF11 7JX	5	True	Permission be granted	17/05/2017

A/17/00058/MNR	10/04/2017	Iceland Foods Ltd	HIGH LEVEL SIGNS TO WEST (FRONT) & EAST (REAR) ELEVATIONS	PART UNIT G AND H, CARDIFF BAY RETAIL PARK, FERRY ROAD, GRANGETOWN, CARDIFF, CF11 0JR	38	True	Permission be granted	18/05/2017
17/00780/MNR	11/04/2017	Morgan	DEMOLITION OF BLOCK OF FLATS NUMBERS 205 - 211	CHANNEL VIEW ROAD 205-211, CHANNEL VIEW ROAD, GRANGETOWN	27	True	Prior Approval be granted	08/05/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00605/DCH	22/03/2017	Vilares	PROPOSED TWO STOREY SIDE AND REAR EXTENSION	52 CRYSTAL WOOD ROAD, HEATH, CARDIFF, CF14 4HW	41	True	Permission be granted	02/05/2017
17/00555/DCH	20/03/2017	Morris	SINGLE STOREY EXTENSION TO REAR, HIP TO GABLE AND DORMER ROOF EXTENSIONS	86 ST ANTHONY ROAD, HEATH, CARDIFF, CF14 4DJ	50	True	Permission be granted	09/05/2017
17/00758/DCH	06/04/2017	Milton	FIRST FLOOR REAR EXTENSION WITH HIP TO GABLE AND REAR DORMER ROOF EXTENSIONS	5 ST ANTHONY ROAD, HEATH, CARDIFF, CF14 4DF	46	True	Permission be granted	22/05/2017
17/00612/DCH	11/04/2017	Crothers	SINGLE STOREY REAR AND SIDE EXTENSION TO CREATE NEW KITCHEN, DINING & FAMILY ROOM PLUS NEW UTILITY AND GROUND FLOOR WC/SHOWER ROOM	28 ST AGNES ROAD, HEATH, CARDIFF, CF14 4AP	21	True	Permission be granted	02/05/2017
17/00718/DCH	29/03/2017	Thomas	ADD A SINGLE STOREY EXTENSION TO THE SIDE OF THE EXISTING PROPERTY AND EXISTING EXTENSION, CHANGING THE EXISTING FLAT ROOF OF THE EXISTING EXTENSION TO A PITCHED, GABLE END ROOF.	65 KYLE AVENUE, WHITCHURCH, CARDIFF, CF14 1SR	34	True	Permission be granted	02/05/2017
17/00773/DCH	07/04/2017	Gittens	PROPOSED SINGLE STOREY SIDE & REAR EXTENSION TO PROVIDE ADDITIONAL KITCHEN/FAMILY SPACE & WC.	5 CRYSTAL WOOD ROAD, HEATH, CARDIFF, CF14 4HU	34	True	Permission be granted	11/05/2017

17/00869/DCH	19/04/2017	Davies	GROUND FLOOR REAR EXTENSION AND PATIO EXTENSION	30 CRYSTAL WOOD ROAD, HEATH, CARDIFF, CF14 4HW	28	True	Permission be granted	17/05/2017
17/00819/DCH	12/04/2017	Osborne	SINGLE STOREY SIDE EXTENSION AND ALTERATIONS TO EXISTING SINGLE STOREY LEAN-TO	42 HOMELANDS ROAD, BIRCHGROVE, CARDIFF, CF14 1UJ	34	True	Permission be granted	16/05/2017
17/00853/DCH	18/04/2017	Jones	REMOVAL OF EXISTING CONSERVATORY, PROPOSED REAR EXTENSION.	50 CRYSTAL WOOD ROAD, HEATH, CARDIFF, CF14 4HW	27	True	Permission be granted	15/05/2017

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17/00762/MNR	06/04/2017	Virgin Media Ltd	TWO NEW LOUVRES TO BE INSTALLED IN THE NORTH ELEVATION	6 FIELD WAY, HEATH, CARDIFF, CF14 4HY	43	True	Permission be granted	19/05/2017
17/00251/MNR	06/02/2017	Edwards	RENEWAL OF PLANNING PERMISSION 12/00214/DCO - RENEWAL OF PLANNING PERMISSION 07/00093/E FOR DEMOLITION OF WORKSHOPS - CONSTRUCTION OF 3 NO. 2 BED LINK HOUSES	5 PANTBACH PLACE, BIRCHGROVE, CARDIFF, CF14 1UN	100	False	Permission be granted	17/05/2017
17/00186/MNR	02/03/2017	Base Support Services	SINGLE STOREY SIDE AND REAR EXTENSIONS, DORMER TO REAR AND CHANGE OF USE FROM C3 TO C2 USE AND ALTERATIONS	179 ALLENSBANK ROAD, HEATH, CARDIFF, CF14 3QY	64	False	Permission be granted	05/05/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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17/00228/DCH	02/02/2017	PHILLIPS	SINGLE STOREY EXTENSION TO THE SIDE OF THE PROPERTY INCLUDING BREAKING THROUGH EXISTING EXTERNAL WALL TO FORM TWO NEW DOORWAYS	HILL FARM, CAPEL GWILYM ROAD, LISVANE, CARDIFF, CF14 9UB	92	False	Permission be granted	05/05/2017
17/00229/DCH	02/02/2017	PHILLIPS	SINGLE STOREY EXTENSION TO THE SIDE OF THE PROPERTY INCLUDING BREAKING THROUGH EXISTING EXTERNAL WALL TO FORM TWO NEW DOORWAYS	HILL FARM, CAPEL GWILYM ROAD, LISVANE, CARDIFF, CF14 9UB	92	False	Permission be granted	05/05/2017
17/00935/DCH	19/05/2017	Edwards	ALTERATIONS TO 16/02811/DCH - THE NEW PROPOSAL WOULD BE 0.6M DEEPER THAN THE EXISTING CONSERVATORY. THE CHANGES ARE REQUESTED AS THE ORIGINAL DEPTH OF 2.75m WAS FELT TO BE TOO SMALL TO MAKE A USEABLE ROOM	BAYTREES, CHERRY ORCHARD ROAD, LISVANE, CARDIFF, CF14 0UF	12	True	Permission be granted	31/05/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00505/DCH	16/03/2017	WITTS	PROPOSED TWO STOREY SIDE EXTENSION	22 WHITE BARN ROAD, LLANISHEN, CARDIFF, CF14 5HB	49	True	Permission be granted	04/05/2017
17/00195/DCH	03/02/2017	Jones	SINGLE & TWO STOREY REAR SIDE EXTENSIONS	50 WOODRUFF WAY, THORNHILL, CARDIFF, CF14 9FP	96	False	Permission be granted	10/05/2017
17/00689/DCH	06/04/2017	Fairhurst	PROPOSED MUSIC ROOM AND FRONT ENTRANCE EXTENSION TOGETHER WITH ASSOCIATED INTERNAL ALTERATIONS	16 ORCHARD CASTLE, THORNHILL, CARDIFF, CF14 9BA	32	True	Permission be granted	08/05/2017
17/00687/DCH	30/03/2017	Blacklidge	PROPOSED FRONT PORCH AND ALTERATIONS TO REAR PATIO DOOR OPENING	10 RAMBLER CLOSE, THORNHILL, CARDIFF, CF14 9FH	34	True	Permission be granted	03/05/2017

17/00735/DCH	03/04/2017	Barlow	PROPOSED FIRST FLOOR REAR EXTENSION TO FORM EXTENDED BATHROOM	28 CORNFIELD CLOSE, LLANISHEN, CARDIFF, CF14 5HS	30	True	Permission be granted	03/05/2017
17/00807/DCH	11/04/2017	Kenneally	CONVERSION OF ATTACHED GARAGE INTO OFFICE AND UTILITY WITH EXTERNAL ALTERATIONS	49 WOODRUFF WAY, THORNHILL, CARDIFF, CF14 9FP	34	True	Permission be granted	15/05/2017

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15/01820/MJR	17/07/2015	McCarthy & Stone Retirement Lifestyles Ltd	DISCHARGE OF CONDITION 4 (DEMOLITION MANAGMENT PLAN), CONDITION 15 (ABORICULTURAL METHOD STATEMENT AND TREE PROTECTION PLAN), CONDITION 16 (LANDSCAPING), CONDITION 21 (PARKING DETAILS), CONDITION 22 (CYCLE PARKING), CONDITION 23 (SITE ACCESS), CONDITION 25 (TRAVEL PLAN), CONDITION 28 (MEANS OF ENCLOSURE), CONDITION 29 (EXTERNAL FINISHES) OF PERMISSION NO. 14/01942/DCO (REDEVELOPMENT OF THE SITE TO FORM A MIXED USE DEVELOPMENT COMPRISING A BLOCK OF RETIREMENT LIVING (C3) ACCOMODATION, AND A BLOCK OF ASSISTED LIVING (EXTRA CARE) ACCOMMODATION (C2) AND ASSOCIATED SURFACE CAR PARKING SPACES AND LANDSCAPING)	THE ORCHARDS, ILEX CLOSE, LLANISHEN, CARDIFF, CF14 5EZ	657	False	Partial Discharge of Condition (s)	04/05/2017
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16/02112/MNR	06/09/2016	Firs Laboratory R S R Ltd,	DISCHARGE OF CONDITIONS 3 (HARD AND SOFT LANDSCAPING), CONDITION 10 (GAS PROTECTION MEASURES), CONDITION 12 (PROVISION OF CYCLE PARKING) OF PLANNING PERMISSION NUMBER 16/00264/MNR	FIRS LABORATORY, R S R LTD, PARC TY GLAS, LLANISHEN, CARDIFF, CF14 5DU	241	False	Full Discharge of Condition	05/05/2017
17/00705/MNR	28/03/2017	City of Cardiff Council	DISCHARGE OF CONDITIONS 3 (CYCLE PARKING PROVISION) AND 8 (WASTE STRATEGY OF 16/01146/MNR	LLANISHEN POLICE STATION, STATION ROAD, LLANISHEN, CARDIFF, CF14 5LS	56	True	Full Discharge of Condition	23/05/2017
17/00653/MNR	30/03/2017	Jones	DEMOLISH outhouse and construction of a 3 bed dwelling	PART OF LAND AT AND 17 PORTFIELD CRESCENT, LLANISHEN, CARDIFF, CF14 5QE	55	True	Permission be granted	24/05/2017
A/17/00042/MNR	10/03/2017	Sainsbury's Supermarkets Limited	13 NEW AND REPLACEMENT BUILDING AND CAR PARK SIGNS. SIGNS INCLUDE: 2 NO. TOTEM SIGNS (ILLUMINATION TO TEXT & LOGOS) 4 NO. PEDESTRIAN TOTEM SIGNS 2 NO. ILLUMINATED FASCIA SIGNS (ILLUMINATION TO TEXT & LOGOS) 2 NO. WELCOME WALL PANEL SIGNS 2 NO. PHARMACY LOZENGE SIGN 1 NO. CAR PARK SIGN	J SAINSBURY, DISTRICT SHOPPING CENTRE, EXCALIBUR DRIVE, LLANISHEN, CARDIFF, CF14 9BB	63	False	Permission be granted	12/05/2017

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17/00782/DCH	12/04/2017	Rutherford	SINGLE STOREY REAR EXTENSION AND INTERNAL ALTERATIONS TO PROVIDE NEW KITCHEN/UTILITY/CLKS	21 ST MICHAEL'S ROAD, LLANDAFF, CARDIFF, CF5 2AL	34	True	Permission be granted	16/05/2017
17/00824/DCH	12/04/2017	Rudling-Smith	PROPOSED SINGLE STOREY EXTENSION AT THE REAR OF PROPERTY	67 FAIRWATER GROVE EAST, LLANDAFF, CARDIFF, CF5 2JT	34	True	Permission be granted	16/05/2017

17/00614/DCH	18/05/2017	Bromwell	DEMOLITION OF EXISTING LEAN-TO EXTENSION AND REPLACING WITH A BIGGER REAR/SIDE EXTENSION	7 WHITEHALL ROAD, LLANDAFF, CARDIFF, CF5 2QE	7	True	Permission be granted	25/05/2017
17/00827/DCH	18/04/2017	Heuser	PROPOSED REPLACEMENT DOUBLE GARAGE, AND ROOF ALTERATIONS TO THE MAIN DWELLING TO FORM AN ADDITIONAL BEDROOM & EN SUITE BATHROOM WITHIN THE ATTIC SPACE AT SECOND FLOOR LEVEL	41 FAIRWATER GROVE EAST, LLANDAFF, CARDIFF, CF5 2JS	37	True	Permission be granted	25/05/2017
17/00675/DCH	27/03/2017	Davies	REAR DORMER AND ROOFLIGHTS TO SIDE ELEVATIONS	BOSCOBEL, 52 LLANTRISANT ROAD, LLANDAFF, CARDIFF, CF5 2PX	39	True	Permission be granted	05/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00875/MJR	21/04/2017	The Retreat (Llandaff) Limited	REVISION TO LOCATION OF WINDOWS TO STAIRWELL OF BLOCK 1 - NORTH ELEVATION REVISION TO WIDTH OF DRIVEWAY SERVING PARKING AREA TO EAST OF BLOCK 1 PREVIOUSLY APPROVED UNDER 10/00846/W	THE RETREAT, THE CHANTRY, LLANDAFF, CARDIFF, CF5 2NT	28	True	Permission be granted	19/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00545/MNR	24/03/2017	Howell's School, Llandaff (GDST)	ERECT A BOUNDARY WALL TO FENCE OFF THE SCHOOL PLAYING FIELDS FROM THE EXISTING RESIDENCES 'THE MEWS' FOR SECURITY REASONS AND CHANGE OF USE FROM PLAYING FIELD TO GARDEN	HOWELLS SCHOOL, CARDIFF ROAD, LLANDAFF, CARDIFF, CF5 2YD	68	False	Permission be granted	31/05/2017

16/02999/MNR	20/12/2016	Cardiff Metropolitan University	CONSTRUCTION OF NEW FACILITIES BUILDING TO REPLACE EXISTING TEMPORARY BUILDINGS AND ASSOCIATED WORKS	CARDIFF METROPOLITAN UNIVERSITY LLANDAFF CAMPUS, 200 WESTERN AVENUE, LLANDAFF, CARDIFF, CF5 2YB	136	False	Permission be granted	05/05/2017
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00597/DCH	17/03/2017	McCabe	REAR AND SIDE EXTENSION	17 BRIDGE ROAD, LLANDAFF NORTH, CARDIFF, CF14 2JL	47	True	Permission be granted	03/05/2017
17/00626/DCH	27/03/2017	Letman	DOUBLE STOREY EXTENSION TO REAR OF PROPERTY	52 COLLEGE ROAD, GABALFA, CARDIFF, CF14 2JZ	39	True	Permission be granted	05/05/2017
17/00820/DCH	12/04/2017	Carrel	EXTENSION OF A SINGLE STOREY ROOM TO REAR OF A DOUBLE STOREY RESIDENTIAL PROPERTY	25 TY-MAWR ROAD, LLANDAFF NORTH, CARDIFF, CF14 2FN	35	True	Permission be granted	17/05/2017
17/00851/DCH	21/04/2017	Mirelmi	GROUND FLOOR SINGLE STOREY REAR AND SIDE EXTENSION	18 GABALFA AVENUE, GABALFA, CARDIFF, CF14 2SJ	40	True	Permission be granted	31/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
16/03025/MNR	20/12/2016	Donnelly	VARIATION OF CONDITION 9 (ROOF LIGHTS TO REAR) OF 16/00168/MNR TO ALLOW THE WINDOW HEIGHT TO BE REDUCED TO 1.5M	TY GWYN, RADYR ROAD, LLANDAFF NORTH, CARDIFF, CF14 2FU	133	False	Planning Permission be refused	02/05/2017
17/00697/MNR	28/03/2017	Singh	CONVERSION OF UPPER FLOORS INTO 2 SELF CONTAINED FLATS WITH SHOP FRONT ALTERATIONS	133 STATION ROAD, LLANDAFF NORTH, CARDIFF, CF14 2FE	59	False	Permission be granted	26/05/2017

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17/00547/DCH	13/03/2017	Jenkins	DEMOLITION OF EXISTING REAR ANNEX BLOCK AND CONSTRUCTION OF A TWO STOREY DOMESTIC SIDE AND REAR EXTENSION	124 LLANRUMNEY AVENUE, LLANRUMNEY, CARDIFF, CF3 4DZ	56	True	Permission be granted	08/05/2017
17/00157/DCH	25/01/2017	Marks	TWO STOREY EXTENSION TO FORM NEW LIVING / DINING ROOM & CLOAKS ON GROUND FLOOR & MASTER BEDROOM AND EN-SUITE AT FIRST FLOOR LEVEL	20 ELGAR CRESCENT, LLANRUMNEY, CARDIFF, CF3 5RT	100	False	Permission be granted	05/05/2017

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17/00786/MNR	10/04/2017	Khan	CHANGE OF USE OF PART GROUND FLOOR FROM RETAIL STORE TO A PIZZA TAKE AWAY	LLANRUMNEY POST OFFICE, 72 COUNTISBURY AVENUE, LLANRUMNEY, CARDIFF, CF3 5YR	36	True	Permission be granted	16/05/2017

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17/00744/DCH	04/04/2017	Leaman	SINGLE STOREY SIDE EXTENSION	14 HILLRISE, LLANEDEYRN, CARDIFF, CF23 6UH	29	True	Permission be granted	03/05/2017

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17/00584/DCH	20/03/2017	Edwards	CONSTRUCTION OF A REAR DORMER ROOF EXTENSION AND INSERTION OF ROOFLIGHTS TO THE FRONT ELEVATION	49 KIMBERLEY ROAD, PENYLAN, CARDIFF, CF23 5DL	45	True	Permission be granted	04/05/2017
17/00097/DCH	19/01/2017	Sullivan	SINGLE STOREY REAR EXTENSION AND LOFT CONVERSION WITH FRONT AND REAR DORMERS	11 WASDALE CLOSE, PENYLAN, CARDIFF, CF23 5NY	106	False	Permission be granted	05/05/2017
17/00628/DCH	21/03/2017	Ishaq	GROUND & FIRST FLOOR REAR EXTENSION	30 EARLS COURT ROAD, CARDIFF	45	True	Permission be granted	05/05/2017
17/00394/DCH	22/02/2017	Hooper	TWO STOREY EXTENSION TO SIDE AND SINGLE STOREY EXTENSION TO THE REAR	53 OAK WOOD AVENUE, PENYLAN, CARDIFF, CF23 9EZ	86	False	Permission be granted	19/05/2017
17/00670/DCH	29/03/2017	Buckle	SINGLE STOREY REAR EXTENSION	1 WINCHESTER AVENUE, PENYLAN, CARDIFF, CF23 9BT	37	True	Permission be granted	05/05/2017
17/00880/DCH	20/04/2017	Hinchly	NON-MATERIAL AMENDMENT TO INCREASE THE HEIGHT OF THE ROOF BY(45MM) 18 INCHES ON PLANNING APPLICATION 16/01052/DCH	72 LAKE ROAD EAST, PENYLAN, CARDIFF, CF23 5NN	28	True	Permission be granted	18/05/2017
17/00836/DCH	13/04/2017	Yapp	GROUND FLOOR REAR EXTENSION	142 MARLBOROUGH ROAD, ROATH, CARDIFF, CF23 5BZ	39	True	Permission be granted	22/05/2017
17/00817/DCH	27/04/2017	Baggott	SINGLE STOREY EXTENSION	3 PENYLAN COURT, TY-GWYN ROAD, PENYLAN, CARDIFF, CF23 5JH	33	True	Permission be granted	30/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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17/00706/MJR	28/03/2017	Natural Resources Wales	AMENDMENTS TO PLANNING CONDITION 12 - MINOR REWORDING PREVIOUSLY APPROVED UNDER 15/02501/MJR	ROATH BROOK, WATERLOO ROAD, ROATH	49	True	Permission be granted	16/05/2017
17/01005/MJR	03/05/2017	Natural Resources Wales	MINOR CHANGES TO THE ALIGNMENT OF THE PROPOSED FLOOD DEFENCE WALLS TO ACCOMMODATE EXISTING TREES OR SERVICES PREVIOUSLY APPROVED UNDER 15/02501/MJR	ROATH BROOK, WATERLOO ROAD, ROATH	6	True	Permission be granted	09/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00543/MNR	15/03/2017	CDS (Superstores International) Ltd	ERECTION OF TWO STEEL TANKS AND PUMP HOUSE FOR USE IN CONNECTION WITH THE STORE'S FIRE CONTROL SYSTEM; ERECTION OF LIGHTING COLUMNS WITHIN THE CUSTOMER CAR PARK	THE RANGE, 372 NEWPORT ROAD, PENYLAN, CARDIFF, CF23 9AE	49	True	Permission be granted	03/05/2017
17/00596/MNR	17/03/2017	Durlston Properties Ltd	CONVERSION OF A PROPERTY WITH 7 BEDROOMS INTO 3 TWO BEDROOM FLATS & 1 ONE BED ROOM FLAT WITH EXTERNAL ALTERATIONS	50 PEN-Y-LAN ROAD, ROATH, CARDIFF, CF24 3PF	46	True	Permission be granted	02/05/2017
17/00365/MNR	20/02/2017	Poyner	TAKE DOWN THE REMAINING SECTION OF THE STABLE BUILDING AND RE-BUILD THE NORTHERN WALL OF THE FORMER STABLE ALONG WITH THE ADJOINING BOUNDARY WALL, OMITTING THE TWO SMALL VENT APERTURES TOGETHER WITH ONE WINDOW OPENING AND CONSTRUCTION OF NEW COACH HOUSE DWELLING AS A REVISION TO LISTED BUILDING CONSENT REFERENCE 15/01705/MNR	WHITE LODGE, TY-GWYN AVENUE, PENYLAN, CARDIFF, CF23 5JJ	81	False	Permission be granted	12/05/2017

17/00748/MNR	04/04/2017	MILLER	DISCHARGE OF CONDITION 3 (SURFACE WATER DRAINAGE) OF 10/02148/DCO	LAND BETWEEN MARYPORT ROAD & BRANDRETH ROAD, PENYLAN, CARDIFF	28	True	Full Discharge of Condition	02/05/2017
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00051/DCH	04/04/2017	Seraph Property Maintenance	RETENTION OF SMALL DORMER ADAPTATION TO REAR SECOND FLOOR ANNEX.	SECOND FLOOR FLAT, 39 CONNAUGHT ROAD, ROATH, CARDIFF, CF24 3PU	42	True	Permission be granted	16/05/2017
17/00504/DCH	06/03/2017	Hutchins	CONSTRUCTION OF A DORMER WINDOW TO SIDE ANNEX	BEDSIT 6, 23 CONNAUGHT ROAD, ROATH, CARDIFF, CF24 3PT	65	False	Permission be granted	10/05/2017
17/00698/DCH	31/03/2017	Erickson	SINGLE STOREY REAR & SIDE EXTENSIONS	19 ROATH COURT PLACE, ROATH, CARDIFF, CF24 3SJ	35	True	Permission be granted	05/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00215/MNR	24/03/2017	ABEDI	EXISTING USE AS 6 NO FLATS	164 RICHMOND ROAD, ROATH	47	True	Permission be granted	10/05/2017
A/17/00043/MNR	14/03/2017	HSBC Corporate Real Estate	REPLACEMENT OF THE EXISTING 'HSBC' SIGNAGE WITH 'HSBC UK' EQUIVALENTS. TO COMPLY WITH THE CURRENT NATIONWIDE REBRANDING PROGRAMME.	HSBC BANK PLC, 94-96 ALBANY ROAD, ROATH, CARDIFF, CF24 3RT	56	True	Permission be granted	09/05/2017
A/17/00050/MNR	22/03/2017	Modra Investments Ltd	ADVERTISING ON EXISTING HOARDING AT CONSTRUCTION SITE FOR NEW STUDENT ACCOMMODATION	21-27 CITY ROAD, ROATH, CARDIFF, CF24 3BJ	54	True	Permission be granted	15/05/2017

17/00671/MNR	24/03/2017	Plant	SINGLE STOREY REAR EXTENSION TO FACILITATE THE REVERSION OF TWO EXISTING FLATS INTO A SINGLE C4 DWELLING HOUSE FOR UP TO 6 PEOPLE INCLUDING REINSTATEMENT OF STABLES/HAYLOFT	14 BEDFORD STREET, ROATH	42	True	Permission be granted	05/05/2017
17/00631/MNR	27/03/2017	MOGHAL	ALTERATIONS TO EXISTING COACH HOUSE AND CONVERSION TO ONE BED DWELLING	REAR OF 211 CITY ROAD, ROATH, CARDIFF, CF24 3JD	60	False	Permission be granted	26/05/2017
A/17/00045/MNR	07/04/2017	Cardtronics UK Ltd, trading as CASHZONE	THE RETENTION OF AN ILLUMINATED LOGO PANEL AND ILLUMINATED TOP SIGN	BEER BARGAIN, 134 ALBANY ROAD, ROATH, CARDIFF, CF24 3RU	48	True	Permission be granted	25/05/2017
17/00548/MNR	07/04/2017	Cardtronics UK Ltd, trading as CASHZONE	THE RETENTION OF AN AUTOMATED TELLER MACHINE	BEER BARGAIN, 134 ALBANY ROAD, ROATH, CARDIFF, CF24 3RU	48	True	Permission be granted	25/05/2017
17/00663/MNR	12/04/2017	J.D. Wetherspoon P.L.C	ALTERATIONS TO FACILITATE EXTENSION OF BEER GARDEN	THE ERNEST WILLOWS, 2-12 CITY ROAD, ROATH, CARDIFF, CF24 3DL	29	True	Permission be granted	11/05/2017
17/00747/MNR	20/04/2017	THD Properties Ltd	CHANGE OF USE OFFICES TO A3 BISTRO/TAPAS BAR	UNIT 19, THE GLOBE CENTRE, WELLFIELD ROAD, ROATH, CARDIFF, CF24 3PE	29	True	Permission be granted	19/05/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00691/DCH	28/03/2017	Salway	TWO STOREY LATERAL EXTENSION TO FORM A LOUNGE TOILET & BEDROOM	28 CLOS NANT DDU, PONTPRENNAU, CARDIFF, CF23 8LF	52	True	Permission be granted	19/05/2017
17/00643/DCH	22/03/2017	BOARDMAN	FIRST FLOOR FRONT AND SIDE EXTENSION	4 CLOS NANT Y COR, PONTPRENNAU, CARDIFF, CF23 8LD	44	True	Permission be granted	05/05/2017

17/00579/DCH	23/03/2017	Drage	DEMOLITION OF EXISTING CONSERVATORY AND SEPERATE GARAGE STRUCTURE AT REAR OF PROPERTY. CONSTRUCTION OF A SINGLE STORY EXTENSION IN THEIR PLACE. TO ACCOMMODATE LEVEL ACCESS BEDROOM, SHOWER AND WC FACILITIES WITH DISABLED ACCESS	6 AMBERGATE DRIVE, PONTPRENNAU, CARDIFF, CF23 8AX	43	True	Permission be granted	05/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00296/MJR	21/02/2017	Bellway Homes Wales	DISCHARGE OF CONDITIONS 8 (SOIL RESOURCE SURVEY) AND 14 (PRIVATE DRIVEWAY FINISHES AND KERBING ARRANGEMENTS) OF 16/01325/MJR	BJ SKIPS, CHURCH FARM, CHURCH ROAD, OLD ST MELLONS, CARDIFF, CF3 6YA	93	False	Full Discharge of Condition	25/05/2017
17/00894/MJR	26/04/2017	Wates Residential	DISCHARGE OF CONDITIONS 5 (NOISE ASSESSMENT), 12 (DORMICE MANAGEMENT STRATEGY) AND 25 (EXTERNAL FINISHING MATERIALS) OF 16/01592/MJR	SITE OF FORMER FLATS 11-20 TY-TO-MAEN CLOSE, OLD ST MELLONS, CARDIFF	28	True	Full Discharge of Condition	24/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00253/MNR	06/02/2017	Bell	DISCHARGE OF CONDITION 11 (IMPROVEMENTS TO THE EXISTING ACCESS LANE) OF 12/00766/DCO	PWLLCOCH FARM, DRUIDSTONE ROAD, OLD ST MELLONS, CARDIFF, CF3 6XD	88	False	Full Discharge of Condition	05/05/2017

17/01155/MNR	18/05/2017	Bell	DISCHARGE OF CONDITION 6 (CHEMICAL AND OTHER CONTAMINANTS) OF 12/00766/DCO	LAND ADJACENT TO SWALLOW COTTAGE & PWLL COCH FARM, DRUIDSTONE ROAD, OLD ST MELLONS, CARDIFF, CF3 6XD	8	True	Full Discharge of Condition	26/05/2017
A/17/00060/MNR	11/04/2017	McDonald's Restaurants Ltd.	RELOCATION OF 2 NO. EXISTING FASCIA SIGNS AND THE INSTALLATION OF 2 NO. WALL MOUNTED SIGNS.	MCDONALDS, 1 CARDIFF GATE RETAIL PARK, DERING ROAD, PONTPRENNAU, CARDIFF, CF23 8NL	38	True	Permission be granted	19/05/2017

PYCH

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00492/DCH	08/03/2017	Grant	TWO STOREY FRONT PORCH EXTENSION FOR STAIRWELL WITH APEX ROOF. ADJOINING SIDE EXTENSION TO EXISTING DOUBLE GARAGE, CONVERTING HALF INTO ROOMS, REPLACING FLAT ROOF WITH APEX ROOF. REMOVAL OF EXISTING REAR FIRST FLOOR DORMER, RECONSTRUCTION OF REAR EXTENSION IN ITS PLACE. COVERED DECKING AREA TO REAR PATIO. INTERNAL ALTERATIONS	3 BRODEG, PENTYRCH, CARDIFF, CF15 9TF	57	False	Permission be granted	04/05/2017
17/00497/DCH	09/03/2017	James	PROPOSED 2 STOREY SIDE AND REAR EXTENSION	33 RIVER GLADE, GWAELOD-Y-GARTH, CARDIFF, CF15 9SP	54	True	Permission be granted	02/05/2017
17/00618/DCH	21/03/2017	Weeks	CHANGE FROM FLAT ROOF TO PITCH ROOF OVER GARAGE.	89 MAES-Y-SARN, PENTYRCH, CARDIFF, CF15 9QR	49	True	Permission be granted	09/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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16/02483/MJR	17/10/2016	CEMEX UK MATERIALS LIMITED	DISCHARGE OF CONDITION 29 (HYDRO GEOLOGICAL ASSESSMENT) OF PLANNING PERMISSIONS 3040 AND T56/90/0867	CEMEX UK MATERIALS LTD TAFFS WELL QUARRY, HEOL GOCH, PENTYRCH, CARDIFF, CF15 9PN	212	False	Full Discharge of Condition	17/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00623/MNR	23/03/2017	REDROW HOMES LTD	PROPOSED ALTERATION OF APPROVED HOUSETYPE TO INCLUDE REAR CONSERVATORY EXTENSION	PLOT 18, AWEL Y GARTH, HEOL GOCH, CARDIFF, CF15 2RN	53	True	Permission be granted	15/05/2017
17/00686/MNR	27/03/2017	Laurels Day Nurseries	INCREASE NUMBER OF CHILDCARE PLACES FROM 35 TO 51	PILI PALA DAY NURSERY THE LAURELS, TY-NANT ROAD, GWAELOD-Y-GARTH, CARDIFF, CF15 8LB	49	True	Permission be granted	15/05/2017

RADY

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00646/DCH	22/03/2017	Llewhellin	SINGLE STOREY REAR EXTENSION	83 HEOL ISAF, RADYR, CARDIFF, CF15 8DW	54	True	Permission be granted	15/05/2017
16/03007/DCH	19/12/2016	Evans	CONVERSION OF EXISTING GARAGE/STORE AND TWO STOREY SIDE EXTENSION TO PROVIDE LIVING ACOMMODATION FOR ELDERLY RELATIVE	4 BEECH TREE CLOSE, RADYR, CARDIFF, CF15 8RZ	137	False	Permission be granted	05/05/2017
17/00839/DCH	19/04/2017	Trigg	REMOVAL OF CONDITION 4 OF PLANNING PERMISSION 16/02666/DCH (WINDOW)	86 DAN-Y-BRYN AVENUE, RADYR, CARDIFF, CF15 8DD	33	True	Planning Permission be refused	22/05/2017

17/00741/MNR	04/04/2017	Trigg	DISCHARGE OF CONDITION 6 (MATERIALS) OF 16/02666/DCH	86 DAN-Y-BRYN AVENUE, RADYR, CARDIFF, CF15 8DD	30	True	Full Discharge of Condition	04/05/2017
17/00733/DCH	07/04/2017	Westacott	NEW DETACHED GARAGE TO SIDE	2 KING'S ROAD, RADYR, CARDIFF, CF15 8EB	31	True	Permission be granted	08/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
16/00309/MNR	17/02/2016	Vigliotta	DISCHARGE OF CONDITIONS 8 (DRAINAGE), 10 (BOUNDARY WALL) AND 11 (TREE REPORT) OF 15/2017/MNR	PROPOSED DWELLING 1 ON PART OF LAND AT 11 13 AND 15, AEL-Y-BRYN, RADYR	454	False	Full Discharge of Condition	16/05/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00743/DCH	04/04/2017	HAMPSON	PROPOSED REAR SINGLE STOREY EXTENSION & OMISSION OF APPROVED BALCONY	3 HEOL-Y-COED, RHIWBINA, CARDIFF, CF14 6HP	56	True	Permission be granted	30/05/2017
17/00636/DCH	22/03/2017	Sydenham	PROPOSED SINGLE STOREY REAR HOUSE EXTENSION	47 COED Y WENALLT, RHIWBINA, CARDIFF, CF14 6TN	47	True	Permission be granted	08/05/2017
16/02432/DCH	28/10/2016	jones	CONSTRUCTION OF A PART SINGLE AND TWO STOREY EXTENSION IN AN 'L' CONFIGURATION TO THE REAR OF THE PROPERTY	69 PEN-Y-DRE, RHIWBINA, CARDIFF, CF14 6EJ	208	False	Permission be granted	24/05/2017
16/02433/DCH	28/10/2016	jones	CONSTRUCTION OF A PART SINGLE AND TWO STOREY EXTENSION IN AN 'L' CONFIGURATION TO THE REAR OF THE PROPERTY	69 PEN-Y-DRE, RHIWBINA, CARDIFF, CF14 6EJ	208	False	Permission be granted	24/05/2017

17/00535/DCH	15/03/2017	Hodge	INCORPORATION OF NEW FRONT PORCH AND GENERAL AESTHETIC ENHANCEMENTS TO FACADE CONSISTING OF NEW RENDER, GLAZING AND TIMBER CLADDING.	TREETOPS, 68 RHIWBINA HILL, RHIWBINA, CARDIFF, CF14 6UF	55	True	Permission be granted	09/05/2017
17/00652/DCH	22/03/2017	Baker	TWO STOREY SIDE EXTENSION, NEW PITCHED ROOF TO FRONT AND OTHER ALTERATIONS	7 ALLT WEN, PANTMAWR, CARDIFF, CF14 7TQ	56	True	Permission be granted	17/05/2017
17/00813/DCH	12/04/2017	Lawley	INSTALLATION OF NEW VELUX CABRIO ROOFLIGHTS TO THE REAR ROOF PITCH	60 HEOL-Y-BONT, RHIWBINA, CARDIFF, CF14 6AL	37	True	Permission be granted	19/05/2017
17/00769/DCH	11/04/2017	HAWKES	PROPOSED SINGLE STOREY FRONT AND REAR EXTENSIONS, FIRST FLOOR FRONT AND SIDE EXTENSIONS AND OTHER ALTERATIONS TO PROPERTY.	55 HEOL-Y-COED, RHIWBINA, CARDIFF, CF14 6HQ	34	True	Permission be granted	15/05/2017
17/00854/DCH	21/04/2017	Jennings	SINGLE STOREY REAR EXTENSION	21 ARDWYN, PANTMAWR, CARDIFF, CF14 7HB	26	True	Permission be granted	17/05/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00707/DCH	04/04/2017	Wharf	TAKE DOWN EXISTING CHIMNEY SINGLE STOREY REAR EXTENSIONS AND RAISE PATIO LEVEL BY 400MM	65 KING'S ROAD, RIVERSIDE, CARDIFF, CF11 9DB	42	True	Permission be granted	16/05/2017
17/00738/DCH	03/04/2017	WILLIAMS	TWO STOREY AND SINGLE STOREY EXTENSIONS TO REAR	99 FAIRLEIGH ROAD, PONTCANNA, CARDIFF, CF11 9JW	43	True	Permission be granted	16/05/2017
17/00573/DCH	15/03/2017	Hughes	INTERNAL ALTERATION AND MINOR ALTERATION TO WINDOW/DOOR LOCATIONS ON REAR ANNEXE	68 RYDER STREET, RIVERSIDE, CARDIFF, CF11 9BU	56	True	Permission be granted	10/05/2017
17/00549/DCH	10/03/2017	Caunt	SIDE RETURN & REAR GROUND FLOOR EXTENSION	23 PONTCANNA STREET, PONTCANNA, CARDIFF, CF11 9HQ	55	True	Permission be granted	04/05/2017

17/00694/DCH	28/03/2017	Bisic	PAINTING OF WINDOWS FROM THE OUTSIDE, STREET FACING. CHANGE OF COLOUR FROM DARK BROWN WOOD STAIN TO FARROW AND BALL RAILINGS COLOUR (GREY), SATIN. ALL STREET FACING WINDOWS ON THE HOUSE WILL BE DONE AT THE SAME TIME. CURRENT WINDOW PAINT/STAIN IS IN A POOR STATE, FLAKING AND LEAKING WATER. PAINTING OF ENTRANCE DOOR TO THE HOUSE. CHANGE OF COLOUR FROM DARK GREEN TO FARROW AND BALL RAILINGS COLOUR (GREY), SATIN. CURRENT PAINT IS IN A VERY POOR CONDITION, FLAKING AND CHIPPED, SECTIONS OF WOOD UNPROTECTED.	68 PLASTURTON AVENUE, PONTCANNA, CARDIFF, CF11 9HJ	56	True	Permission be granted	23/05/2017
17/00408/DCH	02/03/2017	Walters	DEMOLITION OF REAR SINGLE STOREY EXTENSION, REMOVAL OF FIRE ESCAPE STAIRS, DEMOLITION OF GARAGE AND CONSTRUCTION OF NEW SINGLE STOREY EXTENSION AND SINGLE STOREY GARAGE AND ALTERATIONS TO REAR ELEVATIONS	179 CATHEDRAL ROAD, RIVERSIDE, CARDIFF, CF11 9PL	83	False	Permission be granted	24/05/2017
17/00409/DCH	02/03/2017	Walters	DEMOLITION OF REAR SINGLE STOREY EXTENSION, REMOVAL OF FIRE ESCAPE STAIRS, DEMOLITION OF GARAGE AND CONSTRUCTION OF NEW SINGLE STOREY EXTENSION AND SINGLE STOREY GARAGE AND ALTERATIONS TO REAR ELEVATIONS	179 CATHEDRAL ROAD, RIVERSIDE, CARDIFF, CF11 9PL	83	False	Permission be granted	24/05/2017
17/00446/DCH	21/03/2017	Hamilton	REPLACE OLD WINDOWS, (NOT ORIGINAL SASH) WITH NEW BOX BAY SASH WINDOWS, IN KEEPING WITH ORIGINAL VICTORIAN FEATURES OF THE PROPERTY. THERE ARE SEVEN WINDOWS IN TOTAL AND ONLY THE FRONT ELEVATION IS EFFECTED.	94 PLASTURTON AVENUE, PONTCANNA, CARDIFF, CF11 9HJ	71	False	Permission be granted	31/05/2017

17/00682/DCH	11/04/2017	Dawe	REAR SINGLE STOREY EXTENSION	33 FAIRLEIGH ROAD, PONTCANNA, CARDIFF, CF11 9JW	34	True	Permission be granted	15/05/2017
17/00829/DCH	18/04/2017	Dimond	SINGLE STOREY SIDE RETURN EXTENSION & SMALL SUN ROOM TO REAR	13 BERTHWIN STREET, PONTCANNA, CARDIFF, CF11 9JH	34	True	Permission be granted	22/05/2017
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00124/MNR	20/02/2017	R One Investment Ltd	PROPOSED EXTENSION AND CONVERSION OF PROPERTY TO FORM 7 BED HOUSE IN MULTIPLE OCCUPATION	62 PLANTAGENET STREET, RIVERSIDE, CARDIFF, CF11 6AQ	73	False	Permission be granted	04/05/2017
17/01119/MNR	16/05/2017	Acorn (Cardiff) Ltd	DISCHARGE OF CONDITION 3 (CURTAIN WALL CLADDING) OF 16/00181/MNR	31 CATHEDRAL ROAD, RIVERSIDE, CARDIFF, CF11 9HB	9	True	Full Discharge of Condition	25/05/2017
17/00844/MNR	13/04/2017	Raschid	REPLACEMENT ROOF OVER REAR KITCHEN WITH ROOFLIGHTS AND NEW SHOP FRONT WITH ROLLER SHUTTERS OVER	66 TUDOR STREET, RIVERSIDE, CARDIFF, CF11 6AJ	28	True	Permission be granted	11/05/2017

RUMN

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00684/DCH	28/03/2017	Waters	TWO STOREY REAR/SIDE EXTENSION, TO INCLUDE UTILITY AND WC AT GROUND FLOOR LEVEL AND A FOURTH BEDROOM TO THE FIRST FLOOR	13 NORTHLANDS, RUMNEY, CARDIFF, CF3 3AQ	55	True	Permission be granted	22/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00476/MJR	22/03/2017	ELLIS	PART CHANGE OF USE OF GROUND FLOOR FROM VETERINARY SURGERY TO SUI GENERIS - CHILDREN'S PARTY VENUE & PART CHANGE OF USE TO 2 BED FLAT WITH SINGLE STOREY FLAT ROOF REAR EXTENSION	PETHERTON VETERINARY SURGERY, 86 WENTLOOG ROAD, RUMNEY, CARDIFF, CF3 3EA	56	True	Permission be granted	17/05/2017
17/01053/MJR	09/05/2017	City Operations	DISCHARGE OF CONDITION 5 (SOIL RESOURCE SURVEY (SRS) AND PLAN (SRP)) OF 16/01309/MJR	HOUSEHOLD WASTE RECYCLING CENTRE, LAMBY WAY CLEANSING DEPOT, LAMBY WAY, WENTLOOG, CARDIFF, CF3 2HP	17	True	Full Discharge of Condition	26/05/2017

SPLO

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00828/MJR	18/04/2017	Cardiff Council	DISCHARGE OF CONDITIONS 6 (REMEDIATION SCHEME), 13 (CONSTRUCTION MANAGEMENT SCHEME), 24 (SCHEME OF HISTORIC ENVIRONMENT MITIGATION), 28 (ARBORICULTURAL METHOD STATEMENT AND TREE PROTECTION PLAN) AND 29 (SLAB AND GROUND LEVELS) OF 16/02911/MJR	PUBLIC OPEN SPACE AT LEWIS ROAD, SPLOTT, CARDIFF	31	True	Full Discharge of Condition	19/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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17/00199/MNR	06/02/2017	Waterstone Homes Limited	B2/B8 INDUSTRIAL VACANT UNITS TO BE DEMOLISHED TO CREATE 0.83 HECTARE SITE FOR RE-DEVELOPMENT	JUBILEE TRADING ESTATE, EAST TYNDALL STREET, SPLOTT, CARDIFF, CF24 5EF	100	False	Prior Approval be granted	17/05/2017
17/01136/MNR	17/05/2017	Zaman	RECONFIGURED LAYOUT TO CREATE TWO MAISONETTE FLATS - PREVIOUSLY APPROVED UNDER 16/01825/MNR	39-41 SPLOTT ROAD, SPLOTT, CARDIFF, CF24 2BU	9	True	Permission be granted	26/05/2017
A/17/00059/MNR	10/04/2017	Hilti (Great Britain) Limited	1 NO. FASCIA SIGN TO BE INSTALLED TO FRONT ELEVATION OF PROPERTY AND 1 NO. FASCIA SIGN TO BE INSTALLED TO REAR ELEVATION OF PROPERTY	HILTI (GREAT BRITAIN) LIMITED UNIT 2, REGENTS TRADE PARK, GALDAMES PLACE, SPLOTT, CARDIFF, CF24 5PF	22	True	Permission be granted	02/05/2017

TROW

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00565/DCH	14/03/2017	Rowan	PROPOSED SINGLE STOREY SIDE/REAR EXTENSION.	8 PENNYROYAL CLOSE, ST MELLONS, CARDIFF, CF3 0NA	56	True	Permission be granted	09/05/2017
17/00311/DCH	03/03/2017	Butlers Glass	REPLACE 8NO. TIMBER CASEMENT WINDOWS FOR MORE IN KEEPING WINDOWS WITH LOW SIGHTLINE DOUBLE GLAZED UNITS ALSO INCORPORATING THE REPLACEMENT BARN DOORS. ALL FLUSH FINISHED TO BE MORE LIKE THE ORIGINAL WINDOWS	PILL DU FARM, HENDRE ROAD, TROWBRIDGE, CARDIFF, CF3 1XY	82	False	Permission be granted	24/05/2017
17/00849/DCH	14/04/2017	Davies	TWO STOREY SIDE EXTENSION	7 CRESSWELL CLOSE, ST MELLONS, CARDIFF, CF3 0LN	35	True	Permission be granted	19/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00914/MJR	02/05/2017	David Wilson Homes	DISCHARGE OF CONDITION 11 (Arboricultural Method Statement (AMS) & A Tree Protection Plan (TPP) Report A Tree Protection Plan) OF 13/1172/DCO	SPRINGFIELD NURSERIES, NEWPORT ROAD, ST MELLONS, CARDIFF, CF3 2WJ	3	True	Full Discharge of Condition	05/05/2017
17/00890/MJR	24/04/2017	David Wilson South Wales	DISCHARGE OF CONDITION 18 (ARCHAEOLOGICAL WORKS) OF 13/01172/DCO	SPRINGFIELD NURSERIES, NEWPORT ROAD, ST MELLONS, CARDIFF, CF3 2WJ	9	True	Partial Discharge of Condition (s)	03/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
16/02721/MNR	11/11/2016	Atlantic Recycling Ltd	THE ERECTION OF A 6M HIGH LITTER NET	ATLANTIC ECO PARK, TY TO MAEN FARM, NEWTON ROAD, WENTLOOG, CARDIFF, CF3 2EJ	189	False	Permission be granted	19/05/2017
A/17/00053/MNR	21/03/2017	Wates Residential	CONSTRUCTION SITE HOARDING, HOARDING AROUND SALES SUITE FLAG POLES AND V SIGNS	LAND TO THE WEST OF WILLOWBROOK DRIVE AND TO THE SOUTH OF CRICKHOWELL ROAD.	48	True	Permission be granted	08/05/2017

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00695/DCH	28/03/2017	Biju	CHANGE OF ROOF TO REAR SINGLE STOREY EXTENSION OF CONSERVATORY WITH INTERNAL & EXTERNAL ALTERATIONS AND CHANGE FRONT ROLLER SHUTTER	4 CHURCH ROAD, WHITCHURCH, CARDIFF, CF14 2DZ	55	True	Permission be granted	22/05/2017
17/00680/DCH	30/03/2017	McDonald	PROPOSED SINGLE-STOREY REAR EXTENSION AND ASSOCIATED ALTERATION WORKS.	28 PENDWYALLT ROAD, WHITCHURCH, CARDIFF, CF14 7EG	55	True	Permission be granted	24/05/2017

17/00723/DCH	06/04/2017	Theobald	LOFT CONVERSION COMPLETE WITH HIP TO GABLE AND DORMER TO REAR. NEW PITCHED ROOF AND GLAZED DOORS TO EXISTING GROUND FLOOR REAR EXTENSION	8 KELSTON PLACE, WHITCHURCH, CARDIFF, CF14 2AP	54	True	Permission be granted	30/05/2017
17/00616/DCH	21/03/2017	Pucknell	FIRST FLOOR SIDE EXTENSIONS	1 ORCHARD DRIVE, WHITCHURCH, CARDIFF, CF14 2AE	51	True	Permission be granted	11/05/2017
17/00577/DCH	22/03/2017	Donovan	CONVERT AN EXISTING SINGLE STOREY ATTACHED GARAGE BUILDING INTO HABITABLE USE. THIS INCLUDES EXTENDING THE STRUCTURE FORWARD BY NO MORE THAN 3M (NOT FORWARD OF THE PRINCIPAL ELEVATION) AND REPLACING THE GARAGE DOOR WITH A UPVC DOOR AND WINDOW, AND INCREASING THE ROOF HEIGHT BY APPROXIMATELY 300MM	7 CORYTON CRESCENT, WHITCHURCH, CARDIFF, CF14 7EP	56	True	Permission be granted	17/05/2017
17/00299/DCH	17/02/2017	Parker	ATTIC CONVERSION TO CREATE ADDITIONAL BEDROOMS AND FAMILY BATHROOM WITH REAR HIP TO GABLE CONVERSION, ADDITION OF FRONT DORMER AND INCREASE IN RIDGE HEIGHT.	5 HEOL PENYFAI, WHITCHURCH, CARDIFF, CF14 1SB	76	False	Permission be granted	04/05/2017
17/00037/DCH	19/01/2017	Underdown	MINOR KITCHEN AND BATHROOM AMENDMENTS TO THE REAR OF THE PROPERTY	8 MERTHYR ROAD, TONGWYNLAIS, CARDIFF, CF15 7LH	106	False	Permission be granted	05/05/2017
17/00038/DCH	19/01/2017	Underdown	MINOR KITCHEN AND BATHROOM AMENDMENTS TO THE REAR OF THE PROPERTY	8 MERTHYR ROAD, TONGWYNLAIS, CARDIFF, CF15 7LH	106	False	Permission be granted	05/05/2017
17/00418/DCH	09/03/2017	Edmondson	TWO STOREY SIDE AND SINGLE STOREY REAR EXTENSION AND OTHER ALTERATIONS, INCLUDING THE DEMOLITION OF THE EXISTING GARAGE AND SINGLE STOREY SIDE/REAR EXTENSION.	67 HEOL DON, WHITCHURCH, CARDIFF, CF14 2AS	57	False	Permission be granted	05/05/2017
17/00419/DCH	24/02/2017	Harfield	ERECTION OF TWO STOREY REAR EXTENSION, SINGLE STOREY REAR LEAN-TO EXTENSION, SINGLE STOREY SIDE EXTENSION AND FRONT PORCH.	20 WESTBOURNE ROAD, WHITCHURCH, CARDIFF, CF14 2BS	70	False	Permission be granted	05/05/2017

17/00435/DCH	07/03/2017	OBrien	REVISION TO DORMER DESIGN OF 16/00791/DCH - PROPOSED TWO STOREY SIDE EXTENSION WITH DORMER	83 MANOR WAY, WHITCHURCH, CARDIFF, CF14 1RE	59	False	Permission be granted	05/05/2017
17/00888/DCH	26/04/2017	Watts	NEW ROOF WITH NEW FRONT & REAR DORMERS & FRONT EXTENSION	2 RUSHBROOK CLOSE, WHITCHURCH, CARDIFF, CF14 2BN	29	True	Permission be granted	25/05/2017
17/01033/DCH	08/05/2017	Lang	ALTERATIONS TO 17/00072/DCH - REAR ELEVATION DOORS INCREASED IN HEIGHT. PARAPET WALL TO CONCEAL ORANGERY AND REMOVED OF 1NO. SINGLE WINDOW TO FIRST FLOOR BEDROOM 3. BLOCK PLAN UPDATED TO SHOW DEMOLITION OF EXISTING GARAGE.	9 ST JOHN'S CRESCENT, WHITCHURCH, CARDIFF, CF14 7AF	17	True	Permission be granted	25/05/2017
17/01076/DCH	11/05/2017	Allan	ALTERATIONS TO 16/02030/DCH - INCLUSION OF A VELUX ROOF LIGHT 60cm x 80cm IN SIDE ELEVATION PITCHED ROOF OVERLOOKING FURTHER FLAT ROOF SECTION, OBSCURE GLAZED AND NON OPENING. ROOF ATTIC IS USED FOR STORAGE AND NOT LIVEABLE ACCOMMODATION. POSSIBLE FUTURE CONVERSION OF ATTIC WOULD REQUIRE STAIRWELL ACCESS. ROOFLIGHT INCLUDED WITH NEW ROOF TO PROVIDE NATURAL LIGHTSOURCE TO POSSIBLE FUTURE STAIRWELL. STAIRWELL CEILING WOULDNOT PROVIDE STANDING VIEWPOINT FOR WINDOW	10 HEOL IESTYN, WHITCHURCH, CARDIFF, CF14 1QE	20	True	Permission be granted	31/05/2017
17/00915/DCH	25/04/2017	Barry	SINGLE STOREY EXTENSION TO THE SIDE AND REAR ELEVATION	11 CRADOC ROAD, WHITCHURCH, CARDIFF, CF14 1HQ	31	True	Permission be granted	26/05/2017
17/00857/DCH	18/04/2017	Jones & Edwards	PROPOSED LOFT CONVERSION WITH HIP TO GABLE AND SMALL REAR DORMER TO CREATE AN ADDITIONAL BEDROOM WITH EN-SUITE	65 ST JOHN'S CRESCENT, WHITCHURCH, CARDIFF, CF14 7AG	29	True	Permission be granted	17/05/2017

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
17/00472/MNR	07/03/2017	Cardiff Harlequins RFC Ltd	THE CONSTRUCTION OF A NEW MEZZANINE FLOOR STRUCTURE REQUIRING THE INSERTION OF NEW EXTERNAL OPENINGS	CARDIFF HARLEQUINS RFC, FOREST FARM ROAD, WHITCHURCH, CARDIFF, CF14 7JN	59	False	Permission be granted	05/05/2017
17/00534/MNR	13/03/2017	Cardiff County Council	HOUSING ESTATE ENVIRONMENTAL IMPROVEMENT COMPRISING OF THE REMOVAL OF EXISTING OUT DOOR STORAGE AREAS, THE CONSTRUCTION OF 4 NO. BRICKWORK BIN STORAGE AREAS WITH ADDITIONAL PARKING AREAS AS WELL AS OTHER PUBLIC REALM IMPROVEMENTS	LARCH HOUSE, HOLLYBUSH ESTATE, WHITCHURCH, CARDIFF, CF14 7EA	51	True	Permission be granted	03/05/2017
16/01514/MNR	24/07/2016	Cecil Homes	CONSTRUCTION OF NEW DETACHED 4 BEDROOM PROPERTY AND FREE STANDING DOUBLE GARAGE	TY ISAF FARM, CASTLE ROAD, TONGWYNLAIS, CARDIFF, CF15 7JQ	285	False	Permission be granted	05/05/2017
17/00323/MNR	16/02/2017	Orbis	CHANGE OF USE FROM CLASS D1 TO CLASS B1. CONSTRUCTION OF NEW CAR PARK TO REAR OF PROPERTY FOR STAFF USE	CORYTON LODGE, PENDWYALLT ROAD, WHITCHURCH, CARDIFF	84	False	Permission be granted	11/05/2017

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LATE REPRESENTATIONS SCHEDULE
PLANNING COMMITTEE – 21ST JUNE 2017

PAGE NO. 1	APPLICATION NO. 16/02752/MJR
ADDRESS:	LOZELLES, CHURCH ROAD, LISVANE, CARDIFF
FROM:	Head of Planning
SUMMARY:	<p>Para 7.3 Craig Williams, Member of Parliament for Cardiff North should read as follows:</p> <p>Craig Williams, former Member of Parliament for Cardiff North</p>
REMARKS:	<p>The status of Craig Williams is noted. Also officers would like to take this opportunity to clarify the point raised by the former Member of Parliament on the developments impact upon the nearby listed church.</p> <p>The Council's Conservation Officer make the following comment:</p> <p>“The church of St Denys is listed at Grade II* as an important medieval parish church. The tower is dramatically positioned fronting Church Road, increasing the church's prominence and significance within Lisvane. The church has an encircling churchyard that is enclosed by a random rubble stone wall, punctuated by a lych gate and archway marking entrance points. Various protected trees within the churchyard contribute significantly to the setting of the church.</p> <p>The church is positioned to the south east of the application site, with its northerly 1979 extension being some 40m from the nearest proposed building on the opposite side of the road. The way in which the listed building is experienced from views north on Church Road or views east from within the churchyard is affected by the Black Griffin Inn, the 1970s commercial units opposite the church and the housing to the north. As such, additional partial views to new buildings within the application site would not be considered to materially affect the way in which the building is experienced.</p> <p>In consideration of the degree of separation between the application site and the church, together with the scale, massing and siting of the units within the site, it is considered that the proposal would not affect the setting of the listed building.”</p>

PAGE NO. 102	APPLICATION NO. 16/3065/MAJ																																																						
ADDRESS:	ST PAULS CHURCH, LLANMAES STREET, GRANGETOWN																																																						
FROM:	Head of Planning.																																																						
SUMMARY:	<p>Approved plans condition amended, as follows:</p> <p>Condition 2</p> <p>The consent relates to the following approved plans:</p> <table> <thead> <tr> <th><i>Dwg. No.</i></th><th><i>Title</i></th></tr> </thead> <tbody> <tr><td>L(90)001A</td><td>Site Location Plan</td></tr> <tr><td>L(90)100B</td><td>Site Plan</td></tr> <tr><td>L(90)150B</td><td>Site Layout</td></tr> <tr><td>L(00)100A</td><td>Ground Floor Apartment Plan</td></tr> <tr><td>L(00)101A</td><td>First Floor Apartment Plan</td></tr> <tr><td>L(00)102A</td><td>Second Floor Apartment Plan</td></tr> <tr><td>L(00)103A</td><td>Roof Plan</td></tr> <tr><td>L(00)200A</td><td>Sections A-A & B-B</td></tr> <tr><td>L(00)201A</td><td>Section C-C</td></tr> <tr><td>L(00)202A</td><td>Section D-D</td></tr> <tr><td>L(00)203A</td><td>Section E-E</td></tr> <tr><td>L(00)204A</td><td>Section F-F & G-G</td></tr> <tr><td>L(00)300A</td><td>North Elevation</td></tr> <tr><td>L(00)301A</td><td>West Elevation</td></tr> <tr><td>L(00)302A</td><td>South Elevation</td></tr> <tr><td>L(00)303A</td><td>East Elevation</td></tr> <tr><td>L(00)150</td><td>Chancel and New Entrance Plan</td></tr> <tr><td>L(00)151</td><td>Chancel Internal Elevations</td></tr> <tr><td>L(00)501B</td><td>Link Building – Ground & Roof Plans</td></tr> <tr><td>L(00)520B</td><td>Link Building – Elevations & Sections</td></tr> <tr><td>L(00)900B</td><td>Bin & Cycle Store Plans, Sections & Elevations</td></tr> <tr><td>L(00)700</td><td>Houses Ground Floor Plans</td></tr> <tr><td>L(00)701A</td><td>Houses First Floor Plans</td></tr> <tr><td>L(00)702</td><td>Houses Second Floor Plans</td></tr> <tr><td>L(00)720</td><td>Houses Section</td></tr> <tr><td>L(00)730A</td><td>Houses Elevations</td></tr> </tbody> </table> <p>Reason: For the avoidance of doubt.</p>	<i>Dwg. No.</i>	<i>Title</i>	L(90)001A	Site Location Plan	L(90)100B	Site Plan	L(90)150B	Site Layout	L(00)100A	Ground Floor Apartment Plan	L(00)101A	First Floor Apartment Plan	L(00)102A	Second Floor Apartment Plan	L(00)103A	Roof Plan	L(00)200A	Sections A-A & B-B	L(00)201A	Section C-C	L(00)202A	Section D-D	L(00)203A	Section E-E	L(00)204A	Section F-F & G-G	L(00)300A	North Elevation	L(00)301A	West Elevation	L(00)302A	South Elevation	L(00)303A	East Elevation	L(00)150	Chancel and New Entrance Plan	L(00)151	Chancel Internal Elevations	L(00)501B	Link Building – Ground & Roof Plans	L(00)520B	Link Building – Elevations & Sections	L(00)900B	Bin & Cycle Store Plans, Sections & Elevations	L(00)700	Houses Ground Floor Plans	L(00)701A	Houses First Floor Plans	L(00)702	Houses Second Floor Plans	L(00)720	Houses Section	L(00)730A	Houses Elevations
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REMARKS:	None.																																																						

PAGE NO. 123	APPLICATION NO. 16/3066/MAJ
ADDRESS:	ST PAULS CHURCH, LLANMAES STREET, GRANGETOWN, CARDIFF
FROM:	Head of Planning.
SUMMARY:	<p>Approved plans condition 2 amended, as follows:</p> <p>Condition 2</p> <p>The consent relates to the following approved plans:</p>

	<p><i>Dwg. No.</i></p> <p>L(90)001A Site Location Plan</p> <p>L(90)100B Site Plan</p> <p>L(90)150B Site Layout</p> <p>L(00)100A Ground Floor Apartment Plan</p> <p>L(00)101A First Floor Apartment Plan</p> <p>L(00)102A Second Floor Apartment Plan</p> <p>L(00)103A Roof Plan</p> <p>L(00)200A Sections A-A & B-B</p> <p>L(00)201A Section C-C</p> <p>L(00)202A Section D-D</p> <p>L(00)203A Section E-E</p> <p>L(00)204A Section F-F & G-G</p> <p>L(00)300A North Elevation</p> <p>L(00)301A West Elevation</p> <p>L(00)302A South Elevation</p> <p>L(00)303A East Elevation</p> <p>L(00)150 Chancel and New Entrance Plan</p> <p>L(00)151 Chancel Internal Elevations</p> <p>L(00)501B Link Building – Ground & Roof Plans</p> <p>L(00)520B Link Building – Elevations & Sections</p> <p>L(00)900B Bin & Cycle Store Plans, Sections & Elevations</p> <p>L(00)700 Houses Ground Floor Plans</p> <p>L(00)701A Houses First Floor Plans</p> <p>L(00)702 Houses Second Floor Plans</p> <p>L(00)720 Houses Section</p> <p>L(00)730A Houses Elevations</p> <p><u>Demolition</u></p> <p>L(00)050 Demolition Plan</p> <p>L(00)051 Demolition Section 1</p> <p>L(00)052 Demolition Section 2</p> <p>L(00)053 Demolition Site Plan</p> <p>Reason: For the avoidance of doubt.</p>
REMARKS:	None.

PAGE NO. 176	APPLICATION NO. 17/208/MNR
ADDRESS:	NATIONAL WESTMINSTER BANK, 238 PANTBACH ROAD, RHIWBINA, CARDIFF
FROM:	Councillors Jayne Cowan, Adrian Robson & Oliver Owen
SUMMARY:	<p>We wish to object to planning application 17/00208/MNR, National Westminster Bank site, 238 Pantbach Road, Rhiwbina.</p> <p>We believe that the development is out of keeping with the local character as it is much larger than the surrounding buildings. The building comes forward of the building line on Heol y Bont and, whilst corner plots are often statement buildings, this is out of scale with the those opposite and adjacent to it. Due to the gradient of the</p>

	<p>railway bridge, the construction would be the most prominent building as you approach Rhiwbina village from Pantbach Road, dominating the immediate area.</p> <p>There does not appear to be any amenity space for new residents in the flats and the impact of the new wall/frontage as part of the enlarged building footprint on Heol y Bont will detrimentally affect the Heol y Bont street scene.</p> <p>There is also an impact on the adjacent sites. It would be overbearing and obtrusive to both 1 Heol y Bont and to Canolfan Beulah gardens which is an important community and religious resource.</p> <p>There appears to be three parking spaces with access from Heol y Bont and we would question whether there is sufficient visibility. There appears to be no space for vehicles to turn around on site (unlike the current car park arrangements) and it would a vehicle reversing into or out the parking bays. The section of Heol y Bont by the site is extremely busy and parking on this road causes the road to be a pinch point. In addition the many users of the scout hall mean that traffic is regularly congested at this location and the proposals removes some on street parking which is in desperate need at this junction.</p> <p>We would urge the committee to refuse the application for the reasons outlined in the officers report but in addition we would request the committee to consider the highways implications. We believe that this development would cause serious detriment to the existing traffic problems in Heol y Bont by the nature of the vehicle movements to access/egress the site and would ask that a third reason for refusal be added.</p>
	Noted

PAGE NO. 202	APPLICATION NO. 17/00383/MJR
ADDRESS:	LAND AT CARGO ROAD, CARDIFF BAY
FROM:	Natural Resources Wales
SUMMARY:	<p>Further to additional information forwarded, we note the application form states that foul water disposal is via mains sewer. We also note the content of the Flood Consequences Assessment by Hydrock dated January 2017 which includes 'Alternative Options' (8.2.4) presented as a last resort.</p> <p>If the proposed development connects to mains sewer we have no adverse comments to make.</p> <p>If the 'alternative options – last resort' is explored please re-consult us.</p> <p>As you are aware, we requested information regarding the</p>

	<p>decommissioning of tanks. To date no information has been provided and as such our advice still stands and should be conditioned accordingly should planning permission be granted. As previously indicated, provision of a simple technical note in this regard would be sufficient. With regard to the condition we would advise wording similar to the below:</p> <p>No development approved by this planning permission shall take place until a remediation strategy / verification report to deal with the risks associated with the potential contamination of the site, due to the presence of the fuel tanks, has been submitted to and approved, in writing, by the local planning authority. The works detailed within the strategy shall be implemented as approved.</p>
REMARKS:	<p>Final Drainage arrangements are subject of condition 4</p> <p>Tank clearance is considered to be encompassed by conditions 8 and 9, but there is no objection to a topic specific condition.</p> <p>Action additional condition as follows:</p> <p>No development approved by this planning permission shall take place until a remediation strategy / verification report to deal with the risks associated with the potential contamination of the site, due to the presence of the fuel tanks, has been submitted to and approved, in writing, by the local planning authority. The works detailed within the strategy shall be implemented as approved.</p> <p>Reason: To ensure for the protection of the environment and future users of the site.</p>

PAGE NO. 202	APPLICATION NO. 17/00383/MJR
ADDRESS:	LAND AT CARGO ROAD, CARDIFF BAY
FROM:	Council's Ecologist
SUMMARY:	<ul style="list-style-type: none"> • Generally agrees with the methodology, results and conclusions of Preliminary Ecological Appraisal • Suggests a nesting bird condition: • Acknowledges that the site is adjacent to a water body with connectivity with the Severn Estuary SAC, SPA and Ramsar Site. • Has considered proximity; and piling impact assessment; and potential for impact upon the estuary as required by Reg 61(1)(a) of the Conservation of Habitats and Species Regulations 2010 (as amended).

	<ul style="list-style-type: none"> • Concludes that adherence to that reports recommendations should mitigate likely risk
	<p>Action additional condition</p> <p>Condition: No clearance of trees, bushes or shrubs to take place between 1st February and 15th August unless otherwise approved in writing by the Local Planning Authority. This approval will be given if it can be demonstrated that there are no birds nesting in this vegetation immediately (48 hrs) before works commence.</p> <p>Reason: To avoid disturbance to nesting birds which are protected under the Wildlife and Countryside Act 1981: Part 1, 1(1)(b), it is an offence to intentionally take, damage or destroy the nest of any wild bird while that nest is in use or being built.</p>

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